

Memorandum

To: Honorable Mayor Bill Agan and members of the Richland Hills City Council
From: Jason Moore, Assistant City Manager
Date: November 22, 2016
Subject: Approval of Change Order #07 for the Link Project

Council Action: Approve change order #7 with Byrne Construction Services for the Link Project and authorize the city manager to amend the guaranteed maximum price and project schedule accordingly.

Background Information: Change Order #7 is in response to the City's request to add the Phase 2 scope to the Link project. As you will recall, phase 2 involves the park plaza linking the entire municipal complex together. As a refresher, the site plan is attached to this memo for your review.

This change order provides the Phase 2 pricing as it relates to 50% construction documents. This is essentially a guaranteed maximum price, with conditions and allowances that will later be refined from 100% documents.

The budget for Phase 2 construction is \$1.9 million. As you will see, the base bid for this additional scope is currently at \$1,539,512. This includes an allowance for a fountain feature with a rough order of magnitude price tag of \$500,000. What you should understand, however, is that a portion of the \$500,000 allowance is still included in our Phase 1 scope and the remaining has been added to this base bid amount.

Additionally, there are four alternates that staff asked the design team to consider and price. They are as follows:

1. Parking Canopies over Police Department Fleet: \$182,239
2. Veteran's Memorial: \$43,466
3. Pavilion near Library-side of Plaza: \$72,838
4. Security Fencing around Police Fleet Parking: \$115,693

If all alternates were accepted, the total value of Phase 2 would be \$1,953,748.

Staff appreciates the design team and contractor for both putting this together in such a quick turnaround. If approved tonight, the contractor's schedule puts the plaza completion at June 2017. This would allow us to use the plaza for our Annual July 4th Parade and Celebration.

Staff recommends approval of Change Order #07 with the base bid and any alternates that City Council deems acceptable.

Approving this change will amend the GMP from \$11,012,385 to \$12,551,897 for our contract with Byrne, unless alternates are included, in which case would be added to the total amount.

Recapitulation:

The original Guaranteed Maximum Price (GMP) was	\$10,903,040.00
The net change by previously authorized Change Orders	\$ 109,345.00
The GMP prior to this Change Order was	\$11,012,385.00
The GMP will be increased by this Change Order in the amount of	\$ 1,539,512.00
The new GMP including this Change Order will be	\$12,551,897.00

Board/Citizen Input: N/A

Financial Impact: \$1,539,512

Staff Contacts: Jason Moore, Assistant City Manager, jmoore@richlandhills.com

Attachments: Phase 2 Site Plan; Change Order Summary Sheet; & Phase II 50% CD Estimate



brsarch.com

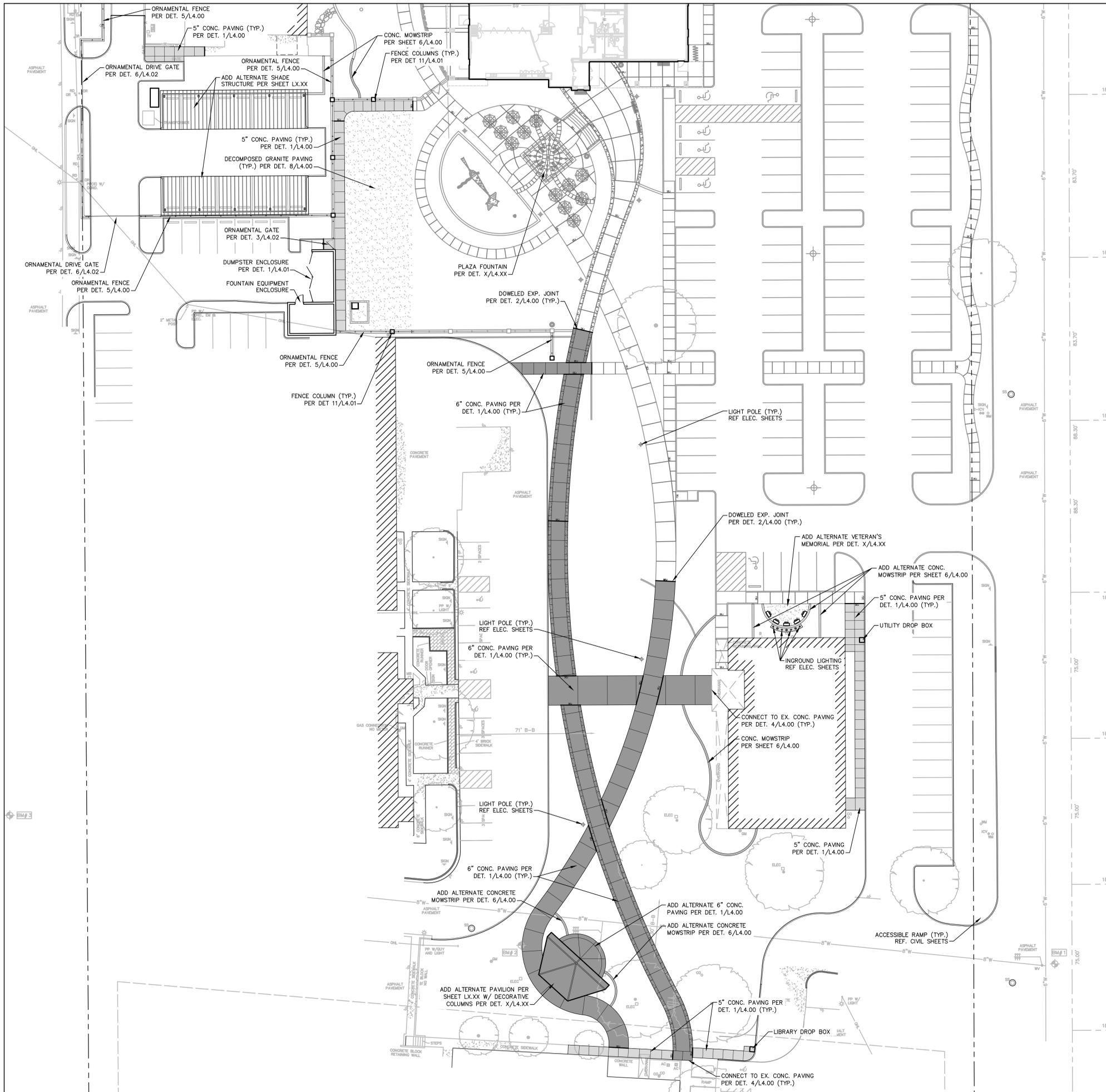


**RICHLAND HILLS
ACTIVITIES CENTER**
BAKER BLVD. & MATTHEWS DR.



Project Number: 2014.001.01
Issue: 100%CD FOR CONSTRUCTION
Date: 03-01-2016
Revisions:
No. Date:
PR #1 10.23.2016

Sheet title:
HARDSCAPE & SITE AMENITY PLAN PHASE 2
L2.02



CONSTRUCTION NOTES:

CONSTRUCTION LAYOUT AND GRADES
THE CONTRACTOR SHALL ENGAGE A LICENSED SURVEYOR TO LOCATE AND ESTABLISH THE BENCH MARK, BASE LINES, ITEMS TO BE CONSTRUCTED, AND FINISHED GRADES.

CONCRETE FORMWORK AND REINFORCEMENT
THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE A MINIMUM OF 48 HOURS PRIOR TO THE PLANNED PLACEMENT OF CONCRETE. THE OWNER'S REPRESENTATIVE MUST HAVE OBSERVED AND APPROVED THE FORMWORK AND REINFORCEMENT PRIOR TO ANY PLACEMENT OF CONCRETE.

CONCRETE FINISH AND SAW JOINTS
THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ON THE SITE SAMPLE PANELS OF PAVEMENT 4' X 4' IN SIZE FOR EACH FINISH OF CONCRETE'S PAVEMENT. THE SURFACE FINISHES SHALL BE AS APPROVED BY THE OWNER'S REPRESENTATIVE. ANY CONCRETE PLACED WITH AN IMPROPER FINISH SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE. ALL SAW JOINTS SHALL BE SAWN WITHIN 24 HOURS OF CONCRETE PLACEMENT. ANY CONCRETE SAWN LATER THAN THIS WHICH, IN THE OPINION OF THE OWNER'S REPRESENTATIVE, HAS EXCESSIVE SHRINKAGE CRACKS DUE TO NOT HAVING BEEN SAWN SOON ENOUGH, SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

ALIGNMENT AND TANGENCY OF PAVEMENTS
ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF RICHLAND HILLS, TEXAS' CITY STANDARD SPECIFICATIONS, AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NORTH CENTRAL TEXAS, AS PREPARED BY N.T.C.O.G.

FIRE LANE AND FIRE HYDRANT
FIRE LANES SHALL BE PROPERLY MARKED WITH A 6 INCH RED STRIPE WITH 4 INCH WHITE LETTERS UPON THE VERTICAL SURFACE OF THE CURB ALONG THE ENTIRE LENGTH OF THE FIRE LANE.

DIMENSIONS
DIMENSIONS ARE TO BACKS OF CURBS, TO CENTERLINES OF FENCES, OR TO EDGES OF PAVEMENTS, UNLESS OTHERWISE INDICATED. WRITTEN AND NUMBERED DIMENSIONS HOLD PRECEDENCE OVER SCALED DIMENSIONS.

ADJUSTMENTS
IF THE CONTRACTOR BELIEVES IT IS NECESSARY TO MAKE AN ADJUSTMENT IN THE LAYOUT OR GRADE OF PROPOSED IMPROVEMENTS, SUCH AN ADJUSTMENT SHALL BE PROPOSED TO THE OWNER'S REPRESENTATIVE. NO ADJUSTMENT WILL BE PERMITTED UNTIL IT HAS FIRST BEEN APPROVED BY THE OWNER'S REPRESENTATIVE.

COORDINATE POINTS
THE SUCCESSFUL GENERAL CONTRACTOR SHALL BE PROVIDED A LIST OF COORDINATE POINTS REQUIRED TO LAYOUT THIS PROJECT. OBTAIN THE LIST FROM SCHRICKEL, ROLLINS AND ASSOC. INC.

TURFGRASS PLANTING
TURFGRASS SHALL BE PLANTED AND ESTABLISHED, AS SPECIFIED, OVER ANY AREAS DISTURBED BY CONSTRUCTION. THE GRASS LIMITS LINES SHOWN ARE NOT ABSOLUTE. TURFGRASS PLANTING SHALL TAKE PLACE BEYOND THE LIMITS IF THE AREA IS DISTURBED.

CONCRETE TRAIL/SIDEWALK LAYOUT
CENTERLINE OF THE TRAIL SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR FOLLOWING THE ALIGNMENT SHOWN IN THE CONSTRUCTION DOCUMENTS. APPROVAL OF THE CENTERLINE STAKING BY THE OWNER/LANDSCAPE ARCHITECT IS REQUIRED PRIOR TO BEGINNING FORMWORK.

LEGEND:

SAWM CONTROL JOINT PER DET. 1/L4.00	COBBLE ROCK MULCH PER DET. 2/L3.01
DOWELED EXP. JOINT PER DET. 2/L4.00	DECOMPOSED GRANITE PER DET. 8/L4.00
6" CONCRETE PAVING ON COMPACTED SUBGRADE PER DET. 1/L4.00	
5" CONCRETE PAVING ON COMPACTED SUBGRADE PER DET. 1/L4.00	

EXISTING UTILITIES
CONTRACTOR MUST VERIFY LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH CITY OFFICIALS AND UTILITY COMPANIES IN LOCATING UTILITIES. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR LOSSES DUE TO DAMAGE TO UTILITIES. LOCATION FOR ALL UTILITIES SHOWN ON PLANS ARE APPROXIMATE. CONTRACTOR SHALL CALL DIG-TESS, 1-800-DIG-TESS.

 **AIA**® Document G701™ – 2001

Change Order

PROJECT <i>(Name and address):</i> Richland Hills Activities Center Richland Hills, TX	CHANGE ORDER NUMBER: 007 DATE: November 16, 2016	OWNER: <input checked="" type="checkbox"/> ARCHITECT: <input checked="" type="checkbox"/>
TO CONTRACTOR <i>(Name and address):</i> Thos. S. Byrne, Inc. 2601 Scott Ave., Suite 300 Fort Worth, TX 76103	ARCHITECT'S PROJECT NUMBER: 2014.01.001 CONTRACT DATE: October 20, 2015 CONTRACT FOR: New Construction	CONTRACTOR: <input checked="" type="checkbox"/> FIELD: <input type="checkbox"/> OWNER'S REP: <input checked="" type="checkbox"/>

THE CONTRACT IS CHANGED AS FOLLOWS:

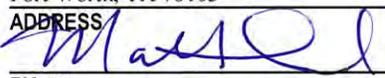
(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)
This Change Order amends the GMP to include Phase II of the Richland Hills Activities Center. Please reference attached Phase II - 50% CD Estimate documents dated November 16, 2016 for definition of scope, schedule, clarifications and qualifications.

The original Guaranteed Maximum Price was	\$ 10,903,040.00
The net change by previously authorized Change Orders	\$ 109,345.00
The Guaranteed Maximum Price prior to this Change Order was	\$ 11,012,385.00
The Guaranteed Maximum Price will be increased by this Change Order in the amount of	\$ 1,539,512.00
The new Guaranteed Maximum Price including this Change Order will be	\$ 12,551,897.00

The Contract Time will be increased by thirty-three (33) days.
The date of Substantial Completion as of the date of this Change Order therefore is June 15, 2017

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

<u>Barker Rinker Seacat Architecture, P.C.</u> ARCHITECT <i>(Firm name)</i>	<u>Thos. S. Byrne, Inc.</u> CONTRACTOR <i>(Firm name)</i>	<u>City of Richland Hills</u> OWNER <i>(Firm name)</i>
<u>3457 Ringsby Court, Unit 200</u> <u>Denver, CO 80216</u> ADDRESS	<u>2601 Scott Ave., Suite 300</u> <u>Fort Worth, TX 76103</u> ADDRESS	<u>3200 Diana Dr.</u> <u>Richland Hills, TX 76118</u> ADDRESS
<u>BY</u> <i>(Signature)</i>	<u></u> BY <i>(Signature)</i>	<u>BY</u> <i>(Signature)</i>
<u>Steve Blackburn, Principal</u> <i>(Typed name)</i>	<u>Matthew Avila, CEO</u> <i>(Typed name)</i>	<u>Eric Strong, City Manager</u> <i>(Typed name)</i>
<u>DATE</u>	<u>DATE</u>	<u>DATE</u>

Phase II

50% CD Estimate

See attached 50% CD Estimate submitted on 11/16/2016.

Phase II - 50% CD Estimate Estimated Cost of the Work



NINE DECADES OF EXCELLENCE
2601 Scott Avenue
Suite 300
Fort Worth, Texas 76103
Phone: (817) 335-3394
Fax: (817) 877-5507

Cost Estimate Summary Sheet
Richland Hills Activity Center - Phase 2
50% CD Estimate

Date: November 16, 2016

Site Area:

86,685

Bid Package #	Bid Package Description	SD ROM Cost	50% CD Cost	50% CD -vs- 100% DD	Cost/SF	Notes	
0000	General Requirements	\$ 258,112	\$ 2.98	\$ 258,112	\$ 2.98		
3000	Concrete	\$ 310,664	\$ 3.58	\$ 228,607	(\$82,057)	\$ 2.64	
4000	Masonry	\$ 9,954	\$ 0.11	\$ -	(\$9,954)	\$ -	w/allowance below
5000	Structural Steel	\$ 750	\$ 0.01	\$ -	(\$750)	\$ -	w/allowance below
5722	Ornamental Iron	\$ 2,025	\$ 0.02	\$ -	(\$2,025)	\$ -	w/alternates
7152	Waterproofing	\$ 10,000	\$ 0.12	\$ 4,307	(\$5,693)	\$ 0.05	
7410	Metal Roofing	\$ 5,320	\$ 0.06	\$ -	(\$5,320)	\$ -	w/allowance below
9900	Painting	\$ 4,988	\$ 0.06	\$ -	(\$4,988)	\$ -	w/allowance below
11650	Spray Garden	\$ 195,424	\$ 2.25	\$ 195,424	\$ 0	\$ 2.25	
13300	Special Structures	\$ 26,600	\$ 0.31	\$ -	(\$26,600)	\$ -	w/alternates
22000	Plumbing & Gas	\$ 7,648	\$ 0.09	\$ 14,789	\$ 7,141	\$ 0.17	
26000	Electrical	\$ 111,200	\$ 1.28	\$ 288,922	\$ 177,722	\$ 3.33	
27000	Communications	\$ -	\$ -	\$ 2,087	\$ 2,087	\$ 0.02	
31000	Earthwork	\$ 324,482	\$ 3.74	\$ 61,420	(\$263,062)	\$ 0.71	
32172	Pavement Markings	\$ 5,887	\$ 0.07	\$ 5,800	(\$87)	\$ 0.07	
32300	Site Improvements	\$ 7,000	\$ 0.08	\$ 8,500	\$ 1,500	\$ 0.10	
33100	Site Utilities	\$ -	\$ -	\$ 73,226	\$ 73,226	\$ 0.84	
32900	Planting and Irrigation	\$ 33,014	\$ 0.38	\$ 113,932	\$ 80,918	\$ 1.31	
	Water Feature Support Building Allowance	\$ -	\$ -	\$ 83,000	\$ 83,000	\$ 0.96	
	Cost of Work Subtotal	\$ 1,313,068		\$ 1,338,126	\$ 25,058	\$ 15.44	
	Contractor's Contingency 10.00%	\$ 131,307	10.00%	\$ 133,813	\$ 2,506	\$ 1.54	
	Building Permit	Excluded		Excluded			
	Construction Costs Subtotal	\$ 1,444,375		\$ 1,471,939	\$ 27,564	\$ 16.98	
	CGL & Umbrella Insurance 0.69%	\$ 10,490	0.69%	\$ 10,623	\$ 133	\$ 0.12	
	Professional Liability 0.15%	\$ 2,280	0.15%	\$ 2,309	\$ 29	\$ 0.03	
	Builder's Risk 0.09%	\$ 1,368	0.09%	\$ 1,386	\$ 17	\$ 0.02	
	Payment & Performance Bond 0.83%	\$ 12,618	0.83%	\$ 12,778	\$ 160	\$ 0.15	
	Construction Costs & Insurance Subtotal	\$ 1,471,131		\$ 1,499,034	\$ 27,903	\$ 17.29	
	Preconstruction Fee	\$ 9,390		\$ -	(\$9,390)	\$ -	in CO #05
	Fee 2.75%	\$ 39,720	2.75%	\$ 40,478	\$ 758	\$ 0.47	
	GMP TOTAL (without alternates below)	\$ 1,520,241		\$ 1,539,512	\$ 19,271	\$ 17.76	
	Acceptance of Alternate 1 - Parking Canopies	\$ -		\$ 174,240	\$ 174,240	\$ 2.01	
	Insurances, Bonds and Fee on above	\$ -		\$ 7,999	\$ 7,999	\$ 0.09	
	Project SubTotal (w above accepted)			\$ 1,721,751	\$ 1,721,751	\$ 19.86	
	Acceptance of Alternate 2 - Veteran's Memorial Monoliths	\$ -		\$ 41,558	\$ 41,558	\$ 0.48	
	Insurances, Bonds and Fee on above	\$ -		\$ 1,908	\$ 1,908	\$ 0.02	
	Project SubTotal (w above accepted)			\$ 1,765,217	\$ 1,765,217	\$ 20.36	
	Acceptance of Alternate 3 - Pavilion/Band Shell	\$ -		\$ 69,641	\$ 69,641	\$ 0.80	
	Insurances, Bonds and Fee on above	\$ -		\$ 3,197	\$ 3,197	\$ 0.04	
	Project SubTotal (w above accepted)			\$ 1,838,055	\$ 1,838,055	\$ 21.20	
	Acceptance of Alternate 4 - Fencing at Police Parking	\$ -		\$ 110,615	\$ 110,615	\$ 1.28	
	Insurances, Bonds and Fee on above	\$ -		\$ 5,078	\$ 5,078	\$ 0.06	
	TOTAL (w above accepted alternates)			\$ 1,953,748	\$ 1,953,748	\$ 22.54	

BP-033000 Turnkey Concrete				Cheyenne Construction Co.		
RHAC - Phase II Richland Hills, TX				(817) 741-5177		
BID DATE: 11/15/2016		TSB QTY	TSB PLUG			
BASE BID				\$198,409		
PER PLANS & SPECS				Yes		
ADDENDA N/A				0		
BOND RATE				2.25%		
Wage Rates?				Yes		
Provide Bid Package?				N/A		
Attended Pre-Bid Meeting?				N/A		
Provided Budgeting Pricing?				N/A		
See attached Subcontractor Proposal.						
Flag Pole Bases		3 each	\$750	\$2,250		
Asphalt Patching		100 sqft		\$3,500		
Mow Strips		150 Inft	\$26	\$3,900		
Concrete Steps at SE City Hall		25 sqft	\$8	\$188		
Generator Pad		1 each	\$3,250	\$3,250		
Light Pole Bases - large		8 each	\$750	\$6,000		
Light Pole Bases - small		10 each	\$500	\$5,000		
Temporary Sidewalk for City Hall Access		27 Inft	\$40	\$1,080		
SALES TAX EXCLUDED? ("Included" or "Excluded")				excluded	excluded	excluded
ADJUSTMENTS				\$25,168		
TOTAL WITHOUT BOND				\$223,577		
BOND PREMIUM				\$5,030		
TOTAL				\$228,607		
Parking Canopy Alternate		80 Inft	\$100	\$8,000		
Band Shell Alternate		6 each	\$1,500	\$9,000		
Veteran's Memorial Alternate		36 Inft	\$125	\$4,500		



6761 Exchange Drive
Mansfield, TX 76063
Phone: 817-741-5177
Fax: 817-741-5178

www.cheyenneconstco.com

CHANGE ORDER REQUEST

PROJECT NAME: RICHLAND HILLS
PROJECT NO: 16025
GENERAL CONTRACTOR: BYRNE CONSTRUCTION
ATTENTION: BRIAN WOLF

C.O.R. NO.: 006
DATE: 11/14/16
REFERENCE: PHASE #2 PR#1 PR#1-R

DESCRIPTION OF CHANGE: PRICE TO FURNISH ALL LABOR MATERIAL AND EQUIPMENT FOR THE
CHANGES ASSOCIATED WITH PHASE #2 PR-1 AND PR-1-R

SEE ATTACHED TAKEOFF SHEETS

Additive Costs

Labor	\$84,938.00
Material	\$78,118.50
Equipment	\$13,700.00

Subtotal of Additive Cost \$176,756.50

Deductive Costs

Labor	
Material	
Equipment	

Subtotal of Deductive Cost \$0.00

Total Direct Cost \$176,756.50

Mark-up 10% \$17,675.65

P&P Bond 2.25% \$3,977.02

Total Subcontractor Change Request \$198,409.00

Paul Wolf 11-14-2016



1212 E Lancaster Ave Fl. 3
Fort Worth, TX 76012
Phone: 817-741-5177
Fax: 817-741-5178
www.cheyenneconstco.com

**RICHLAND HILLS ACTIVITY CENTER
BAKER BLVD. & MATTHEWS DR.**

November 14, 2016

Cheyenne Construction Company proposes to furnish labor, material, equipment, and insurance necessary to complete all concrete construction in accordance with the plans and specifications as per the following:

**Plan Sheets: PHASE #2 PR-1 / PR-1-R
Specifications:**

Addendum acknowledgement:

Work scope Inclusions:

6" PAVING 18,661 SF.	7" FIERLANE 5,450 SF.	8" DUMPSTER PAD 1,141 SF.
6" DRIVE APPROACH 785 SF.	6" MONO CURB 1,836 LF.	CURB AND GUTTER 400 LF.
5" SIDEWALKS 750 SF.	BOMANITE SIDEWALKS 725 SF.	DEMO OF CURB AND GUTTER 1,750 SF
3 BOMANITE MOCK-UPS		

Total Proposed Estimate: \$198,409.00

Special Notes:

- This quote is valid for 30 days.
- Proposal is based on a 5% Retainage – or – 10% Retainage with 5% being released upon "substantial completion" of this scope of work.
- Proposal is based on a standard 50 hour work week
- Cheyenne has included a maximum of 1 mobilizations not to exceed more than 1 week of downtime in between. Each additional mobilization will require a fee of \$3,500.00 - \$7,500.00 depending on job location.
- General Contractor to provide all building corners, benchmark control elevations, & lines and grades for paving.
- See Exhibit "W" attached herein for warranty information.

Exclusions:

- See Exhibit "E" for list of general exclusions from our scope of work.

Thank you for your time and consideration on this project. The team here at Cheyenne looks forward to doing business with you. Please feel free to contact us with any questions regarding this proposal.

Brock Mangus Project Manager Date

11/14/2016



Exhibit "E"

Exclusions from Contract

1. Payment and Performance Bond and/or Maintenance Bond.
2. Earth work, except for structural excavation (from top of footing/grade beam down) on our proposed scope of work.
3. **Rock Excavation of any kind is excluded from all aspects of this project.**
4. Termite Control or soil treatment.
5. Barricades, flagman, and traffic control devices to include a traffic control plan.
6. Trench Safety Plans and devices are to be provided by the GC if needed.
7. Mass grading, General Contractor to provide Subgrade at +/- 1/10th foot.
8. All subgrades beneath concrete scope, i.e., lime stabilization, flex base, etc.
9. Erosion Control.
10. Permits, Licensing, or any other associated Fees.
11. Testing of materials and subgrades.
12. Pavement Markings, stripping, signage/signage foundations, wheel stops, or cleaning of parking areas.
13. We assume curing the building slab with one coat of Liquid Curing Compound. We exclude all other curing methods as well as and work related to floor hardeners or sealers.
14. Stripping of curing compounds.
15. Sleeves or conduits of any type. To include irrigation sleeves under flatwork.
16. Masonry rebar, concrete filling of cells or bond beams.
17. The use of metal chairs.
18. Supply of Embeds, Anchor bolts and Pipe Bollards.
19. Joint Sealants, removal of top strip/cleaning, and sealing of concrete.
20. Trench drains or other foundation drains.
21. Concrete piers for fencing and guardrails.
22. Panel & Structural Steel Erection.
23. Engineering other than lift and brace inserts.
24. **Providing Jointing Plans for Paving, Slabs or Sidewalks. This is to be provided by Engineer/Architect or GC.**
25. Casting Beds. Panels are assumed to be cast on slab. These can be provided at \$2.50 per SF.
26. House Keeping Pads.
27. Utility Concrete of any type.
28. Offsite Spoil Removal to include concrete washout waste and dirt spoils.
29. Supply of Dumpsters. GC is to provide dumpster for waste material, trash and concrete washout spoils.
30. Backfilling of paving curbs, islands and sidewalks. We provide structural backfilling only, and we assume dirt excavated can be used for backfill. We exclude any other backfill materials.
31. Handling & Dispensing of Hazardous materials.
32. Temperature Control Admixtures (Retarders, Ice, Accelerators, etc.).
33. CMU Reinforcing. Except Masonry Dowels to be cast in our scope of work.
34. Use of Laser Screed.
35. Asphalt Paving/Patching.
36. Sand or water blasting.
37. All waterproofing or insulation.
38. Repair of unknown/unmarked underground utilities damaged during our work.
39. Precast concrete.
40. **Casing of piers unless otherwise noted.**
41. Water truck/trailer. GC to provide water to the site.
42. Protection of floors after our work is complete.
43. **Subsurface utility line exploration/protection/support and or relocation.**
44. **Limited access pier drilling defined as any piers within 3 feet of any existing structures and/or any piers with less than 25' overhead clearance.**

General Contractor, LLC

Cheyenne Construction Co.

By: _____

By: _____

Date: _____

Date: 11/14/2016



Exhibit "W"

Cheyenne Construction Co. Warranty

Please allow this letter to memorialize Cheyenne Construction Company's warranty for its work on the above mentioned project. In this regard, Cheyenne hereby warrants that its materials and workmanship provided to the Project will be free from any defects for the period of one year starting from "**Date of Substantial Completion**". In the event a defect within Cheyenne's scope of work at the Project is discovered during the warranty period, then Cheyenne agrees to repair or replace the defect, subject to the limitations described below.

This warranty is expressly conditioned upon the receipt of full payment by Cheyenne for its work at the Project. This warranty does not extend to and Cheyenne shall not be under any responsibility or liability whatsoever to make repairs for items caused in whole or in part by windstorms, tornado, lightning, hail, or other Act of God; or caused by the negligence or intentional act by a party not directly associated with Cheyenne; or caused by a modification or repair, attempted or completed, by a party not directly associated with Cheyenne or under its control; or caused by ordinary wear and tear; or caused by a failure in the substrate below the concrete; or results from an improper design. This warranty shall be voidable at Cheyenne's option if any party other than Cheyenne performs or attempts to perform any repairs to Cheyenne's scope of work at the Project.

Cheyenne shall not be liable for any incidental or consequential damages resulting from any defect covered by this warranty, and in no event shall Cheyenne's liability to the Project owner exceed the cost of correcting or replacing the defective work.

In the event an item is discovered that may be covered by this warranty, the Project owner shall within thirty days of discovery, provide written notice of the defect, detailing the exact nature of the warranty claim. The claim shall be mailed or delivered to Cheyenne at the address below by certified mail, return receipt requested. Failure to provide such written notice shall make this warranty voidable at Cheyenne's option.

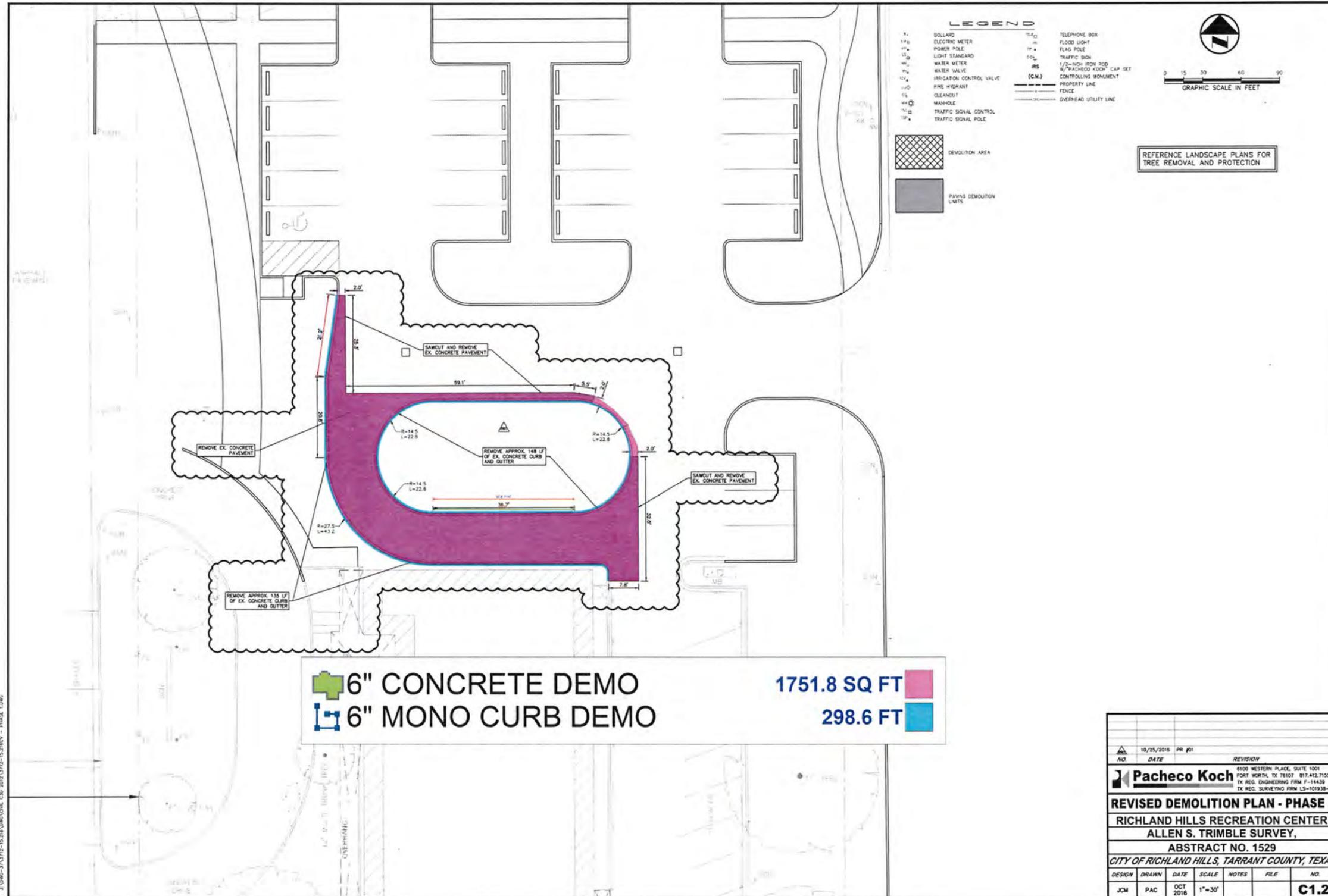
This warranty is non- transferrable. Any obligation set forth in this warranty terminates if the Project is sold or shall cease to be occupied by the owner to whom it is originally issued. There are no warranties that extend beyond the one year time period set forth above. This warranty constitutes the sole and exclusive remedy available to the Project owner for any loss, cost, expense, liability or damage, whether direct or indirect, resulting from or contributed to by the default or negligence of Cheyenne.

Sincerely,
Cheyenne Construction Company
1212 East Lancaster Ave, 3rd Floor
Fort Worth, TX 76102



**BARKER
RINKER
SEACAT**
ARCHITECTURE

brsarch.com



**RICHLAND HILLS
ACTIVITIES CENTER**
BAKER BLVD. & MATTHEWS DR.



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JACE C. MOTHERAL, P.E. 118787 ON 10/25/2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

Project: 2014.001.01
 Number: 100%CD-FOR CONSTRUCTION
 Issue:
 Date: 03-01-2016

Revisions:
 No. 1
 Date: 03-21-2016
 PR #01
 Date: 10-25-2016

NO.	DATE	PR #01	REVISION
Pacheco Koch 8100 WESTERN PLACE, SUITE 1001 FORT WORTH, TX 76107 817.412.7155 TX REG. ENGINEERING FIRM F-14439 TX REG. SURVEYING FIRM LS-101938-24			
REVISED DEMOLITION PLAN - PHASE 1			
RICHLAND HILLS RECREATION CENTER			
ALLEN S. TRIMBLE SURVEY,			
ABSTRACT NO. 1529			
CITY OF RICHLAND HILLS, TARRANT COUNTY, TEXAS			
DESIGN	JCM	DRAWN	PAC
DATE	OCT 2016	SCALE	1"=30'
NOTES		FILE	
NO.			C1.2

Sheet:
 Site: REVISED DEMOLITION PLAN - PHASE 1

C1.2

© 2016 Barker Rinker Seacat Architecture



**BARKER
RINKER
SEACAT**
ARCHITECTURE

brsarch.com

**RICHLAND HILLS
ACTIVITIES CENTER**
BAKER BLVD. & MATTHEWS DR.

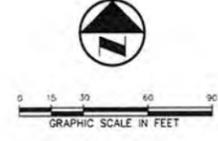
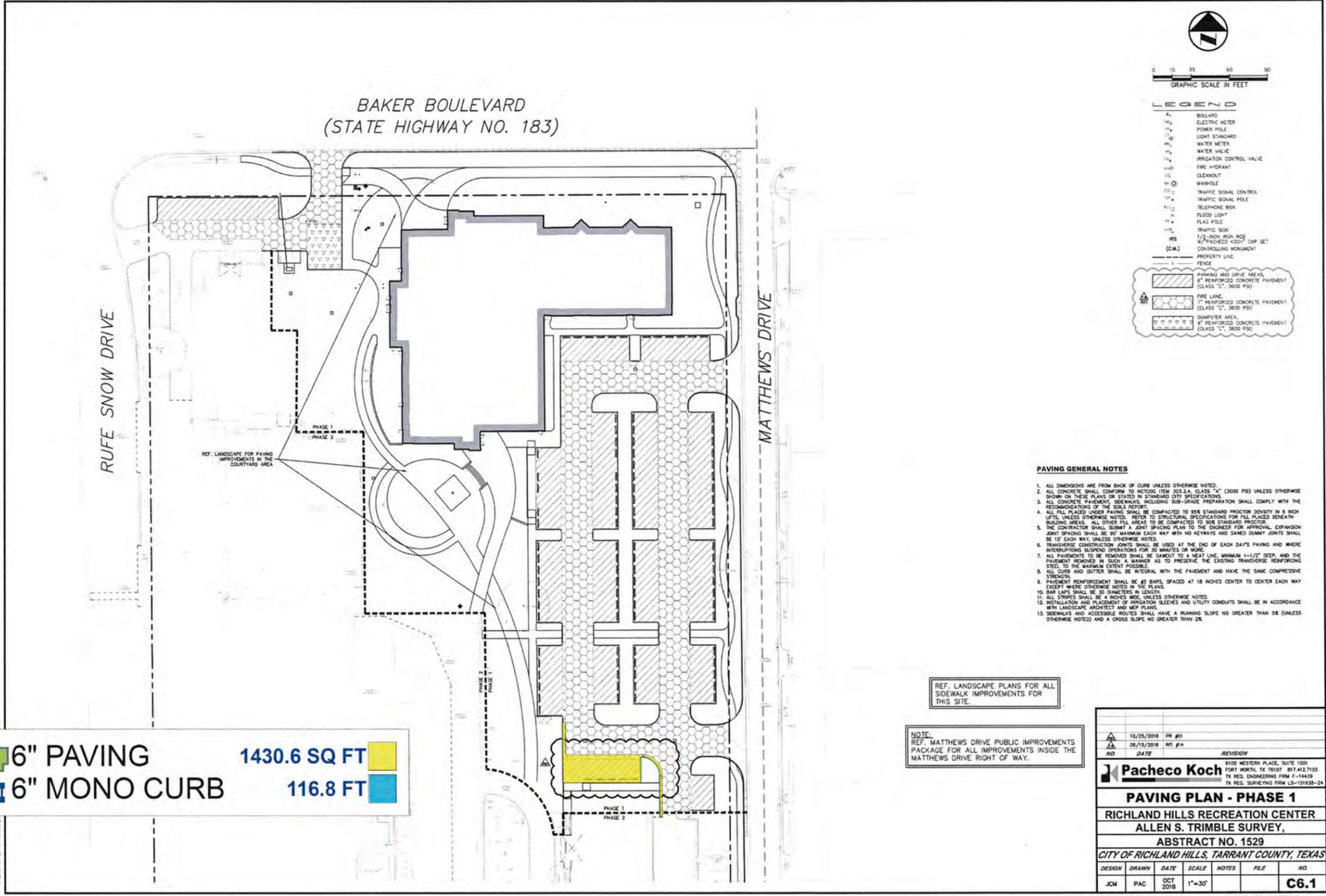


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JACE C. WOHLBERG, P.E. 118787 ON 10/25/2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

Project	2014.001.01
Number	100%CD-FOR CONSTRUCTION
Issue	03-01-2016
Date	
Revisions:	
NO.	DATE
RR #1	08.15.2016
RR #2	10.25.2016

6" PAVING 1430.6 SQ FT

6" MONO CURB 116.8 FT



LEGEND

⊙	BOLLARD
⊕	ELECTRIC METER
⊖	POWER POLE
⊙	LIGHT STANDARD
⊕	WATER METER
⊖	WATER VALVE
⊙	IRRIGATION CONTROL VALVE
⊕	FIRE HYDRANT
⊖	CLEANOUT
⊙	MANHOLE
⊕	TRAFFIC SIGNAL CONTROL
⊖	TRAFFIC SIGNAL POLE
⊙	TELEPHONE BOX
⊕	FLOOD LIGHT
⊖	FLAG POLE
⊙	TRAFFIC SIGN
⊕	1/2-INCH IRON ROD W/ "PATCHED" 300" CAP SET
(C.M.)	CONTROLLING MONUMENT
---	PROPERTY LINE
---	FENCE
▨	PARKING AND DRIVE AREAS, 8" REINFORCED CONCRETE PAVEMENT (CLASS "C", 3600 PSI)
▩	FIRE LANE, 7" REINFORCED CONCRETE PAVEMENT (CLASS "C", 3600 PSI)
▧	DAMPSTER AREA, 8" REINFORCED CONCRETE PAVEMENT (CLASS "C", 3600 PSI)

- PAVING GENERAL NOTES**
1. ALL DIMENSIONS ARE FROM BACK OF CURB UNLESS OTHERWISE NOTED.
 2. ALL CONCRETE SHALL CONFORM TO NCTCOG ITEM 203.3.4, CLASS "A" (3000 PSI) UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED BY STANDARD CITY SPECIFICATIONS.
 3. ALL CONCRETE PAVEMENT, SIDEWALKS, INCLUDING SUB-GRADE PREPARATION SHALL COMPLY WITH THE RECOMMENDATIONS OF THE SOILS REPORT.
 4. ALL FILL PLACED UNDER PAVING SHALL BE COMPACTED TO 98% STANDARD PROCTOR DENSITY IN 8 INCH LIFTS, UNLESS OTHERWISE NOTED. REFER TO STRUCTURAL SPECIFICATIONS FOR FILL PLACED BENEATH BUILDING AREAS. ALL OTHER FILL AREAS TO BE COMPACTED TO 90% STANDARD PROCTOR.
 5. THE CONTRACTOR SHALL SUBMIT A JOINT SPACING PLAN TO THE ENGINEER FOR APPROVAL. EXPANSION JOINT SPACING SHALL BE 30' MAXIMUM EACH WAY WITH NO KEYWAYS AND SAVED CURB JOINTS SHALL BE 15' EACH WAY, UNLESS OTHERWISE NOTED.
 6. TRANSVERSE CONSTRUCTION JOINTS SHALL BE USED AT THE END OF EACH DAY'S PAVING AND WHERE INTERRUPTIONS SUSPEND OPERATIONS FOR 30 MINUTES OR MORE.
 7. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT TO A NEAT LINE, MINIMUM 1-1/2" DEEP, AND THE PAVEMENT REMOVED IN SUCH A MANNER AS TO PRESERVE THE EXISTING TRANSVERSE REINFORCING STEEL TO THE MAXIMUM EXTENT POSSIBLE.
 8. ALL CURB AND GUTTER SHALL BE INTEGRAL WITH THE PAVEMENT AND HAVE THE SAME COMPRESSIVE STRENGTH.
 9. PAVEMENT REINFORCEMENT SHALL BE #3 BARS, SPACED AT 18 INCHES CENTER TO CENTER EACH WAY EXCEPT WHERE OTHERWISE NOTED IN THE PLANS.
 10. BAR LAPS SHALL BE 30 DIAMETERS IN LENGTH.
 11. ALL STRIPS SHALL BE 4 INCHES WIDE, UNLESS OTHERWISE NOTED.
 12. INSTALLATION AND PLACEMENT OF IRRIGATION SLEEVES AND UTILITY CONDUITS SHALL BE IN ACCORDANCE WITH LANDSCAPE ARCHITECT AND MEP PLANS.
 13. SIDEWALKS AND ACCESSIBLE ROUTES SHALL HAVE A MINIMUM SLOPE NO GREATER THAN 5% (UNLESS OTHERWISE NOTED) AND A CROSS SLOPE NO GREATER THAN 2%.

REF. LANDSCAPE PLANS FOR ALL SIDEWALK IMPROVEMENTS FOR THIS SITE.

NOTE: REF. MATTHEWS DRIVE PUBLIC IMPROVEMENTS PACKAGE FOR ALL IMPROVEMENTS INSIDE THE MATTHEWS DRIVE RIGHT OF WAY.

NO.	DATE	REVISION
10/25/2016	PR #01	
08/15/2016	RR #1	
Pacheco Koch		
8100 WESTERN PLACE, SUITE 1001 FORT WORTH, TX 76107 817.412.7155 TX REG. ENGINEERING FIRM F-14439 TX REG. SURVEYING FIRM LS-101938-24		
PAVING PLAN - PHASE 1		
RICHLAND HILLS RECREATION CENTER		
ALLEN S. TRIMBLE SURVEY,		
ABSTRACT NO. 1529		
CITY OF RICHLAND HILLS, TARRANT COUNTY, TEXAS		
DESIGN	DRAWN	DATE
JCM	PAC	OCT 2016
SCALE	NOTES	FILE
1"=30'		C6.1

C6.1



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**RICHLAND HILLS
ACTIVITIES CENTER**
BAKER BLVD. & MATTHEWS DR.



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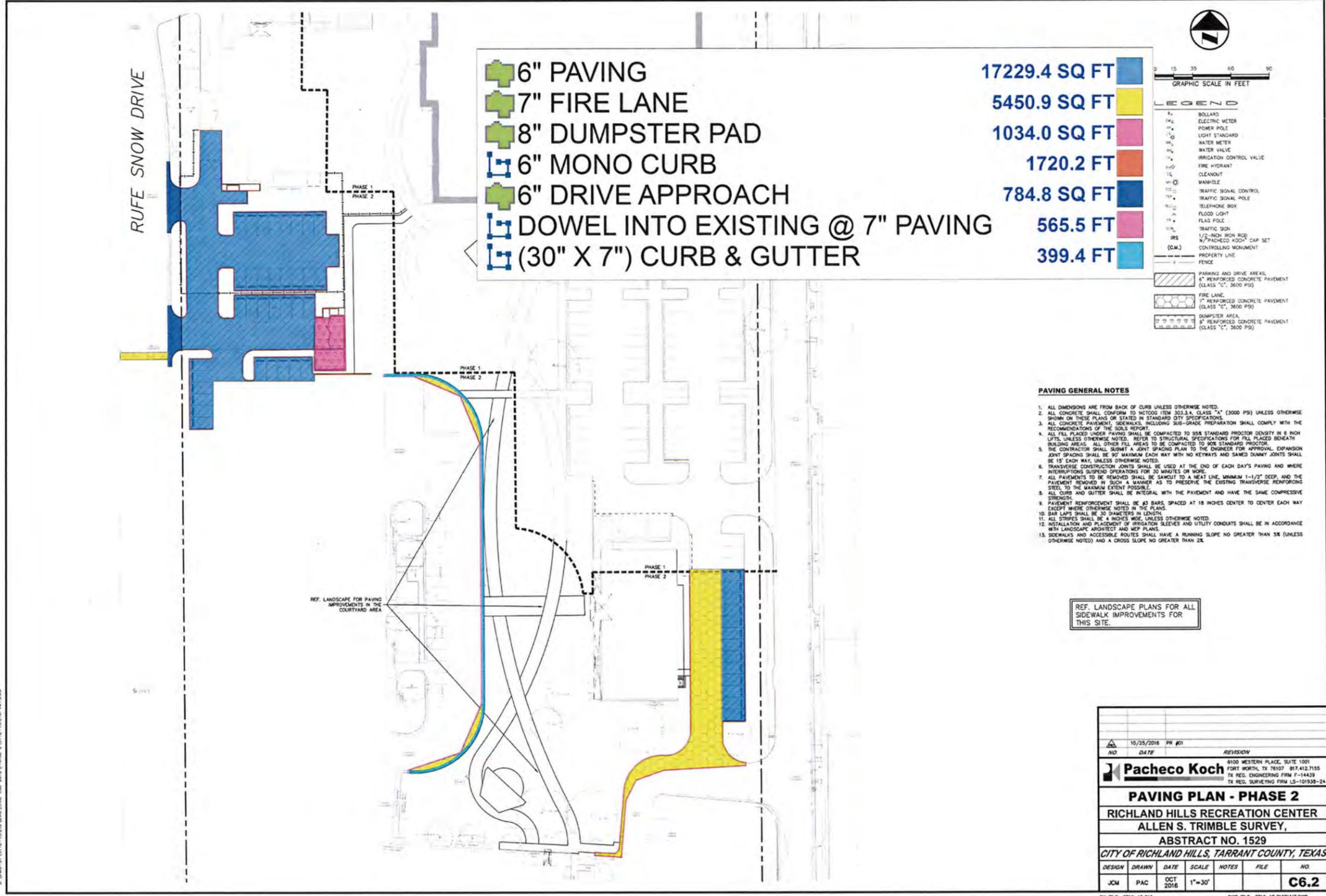
Project: 2014.001.01
Number: 100%CD-FOR CONSTRUCTION
Date: 03-01-2016

Revisions:
No. Date
PR #01 10.25.2016

10/25/2016 PR #01

NO.	DATE	REVISION
10/25/2016	PR #01	
Pacheco Koch 8100 WESTERN PLACE, SUITE 1001 FORT WORTH, TX 76107 817.412.7155 TX REG. ENGINEERING FIRM F-14439 TX REG. SURVEYING FIRM LS-101938-24		
PAVING PLAN - PHASE 2		
RICHLAND HILLS RECREATION CENTER ALLEN S. TRIMBLE SURVEY, ABSTRACT NO. 1529 CITY OF RICHLAND HILLS, TARRANT COUNTY, TEXAS		
DESIGN	DRAWN	DATE
JCM	PAC	OCT 2016
SCALE	NOTES	FILE
1"=30'		C6.2

PK FILE: 3712-15-216 DWG FILE: 3712-15-216PA1.DWG



- 6" PAVING
- 7" FIRE LANE
- 8" DUMPSTER PAD
- 6" MONO CURB
- 6" DRIVE APPROACH
- DOWEL INTO EXISTING @ 7" PAVING
- (30" X 7") CURB & GUTTER

- 17229.4 SQ FT
- 5450.9 SQ FT
- 1034.0 SQ FT
- 1720.2 FT
- 784.8 SQ FT
- 565.5 FT
- 399.4 FT

GRAPHIC SCALE IN FEET
0 15 30 60 90

LEGEND

- BOLLARD
- ELECTRIC METER
- POWER POLE
- LIGHT STANDARD
- WATER METER
- WATER VALVE
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT
- CLEANOUT
- MANHOLE
- TRAFFIC SIGNAL CONTROL
- TRAFFIC SIGNAL POLE
- TELEPHONE BOX
- FLOOD LIGHT
- FLAG POLE
- TRAFFIC SIGN
- 1/2-INCH IRON ROD
- W/PACHED "KOD" CAP SET (C.M.)
- CONTROLLING MONUMENT
- PROPERTY LINE
- FENCE
- PARKING AND DRIVE AREAS, 6" REINFORCED CONCRETE PAVEMENT (CLASS "C", 3600 PSI)
- FIRE LANE, 7" REINFORCED CONCRETE PAVEMENT (CLASS "C", 3600 PSI)
- DUMPSTER AREA, 8" REINFORCED CONCRETE PAVEMENT (CLASS "C", 3600 PSI)

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REF. LANDSCAPE PLANS FOR ALL SIDEWALK IMPROVEMENTS FOR THIS SITE.

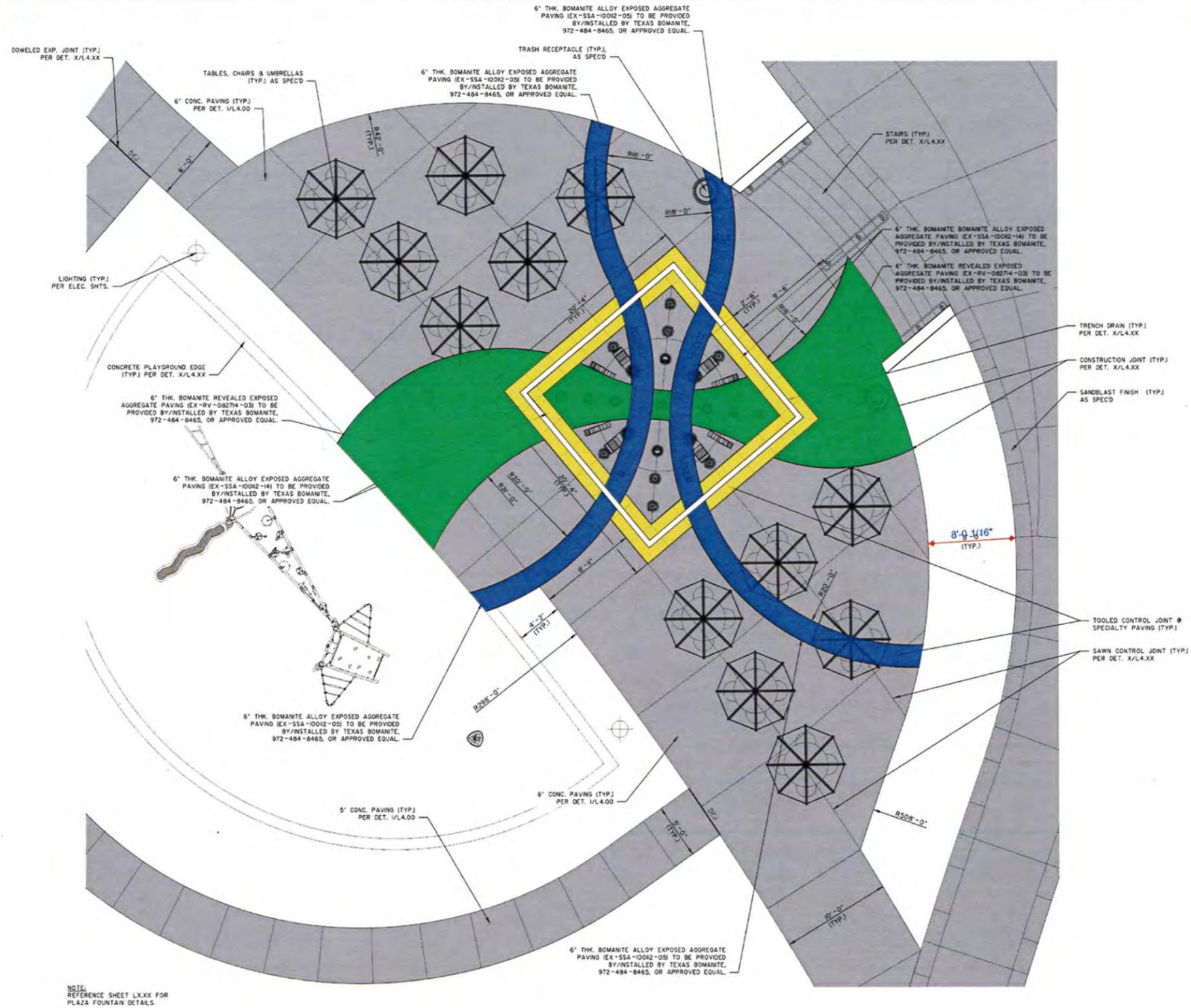
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 10/23/2016
 J. MOTHERAL
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RICHLAND HILLS ACTIVITY CENTER



-  6" BOMANITE REVEALED EXPOSED AGG PAVING (EX-RV-082714-03)
-  6" BOMANITE ALLOY EXPOSED AGG PAVING (EX-SSA-100112-14)
-  6" BOMANITE ALLOY EXPOSED AGG PAVING (EX-SSA-100112-05)

390.0 SQ FT 
 125.3 SQ FT 
 210.2 SQ FT 



NOTE:
REFERENCE SHEET L4.03 FOR
PLAZA FOUNTAIN DETAILS.

1 FOUNTAIN PLAZA @ THE LINK
SCALE: 1/4" = 1'-0"



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**RICHLAND HILLS
ACTIVITIES CENTER**
BAKER BLVD. & MATTHEWS DR.



Project Number:	2014 001 01
Issue:	85% CD FOR PRICING REQUEST
Date:	10-25-2016
Revisions:	
No.	Date



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November 22, 2016
1612 W. Pittshire Court
Keller, Texas 76262
Ph. 972. 360. 9888
Fx. 972. 360. 9889

October 28, 2016

Via: Email

SUBJECT: WATERPROOFING PROPOSAL
PROJECT: Richland Hills Activity Center
Bid Package BP-7100 Dampproofing & Waterproofing

Mr. Brian Wolf:

We are pleased to submit our proposal for the following scope of work on the above referenced project based on PR01 plans dated October 25, 2016.

321370 CAULKING AND SEALANTS

- Inclusions: Install closed cell backer rod and Pecora NR-201 self-leveling polyurethane sealant at:
- Added site concrete paving expansion joints (at 90' on center) and saw cut control joints (at 15' on center) per plans and;
 - Added concrete sidewalk to sidewalk building expansion joints.
 - Colors are to be selected from the manufacturer's standard color chart.
 - **Removal of plastic/redwood expansion joint fillers only are included.**
 - **Phase 1: No cost impact**
 - **Phase 2: Material \$2,450.00 Labor \$1,396.00 OH/P ~~\$679.00~~ **\$384.60****
 - **PP Bond costs: \$ 55.00**

Exclusions: Custom colors and all other work not specified above.

Base Bid Total \$ ~~4,580.00~~ \$4,230.60

All materials are furnished and installed.
Sales tax is excluded.
We acknowledge prevailing wage scale.
Proposal is valid for 60 days unless otherwise noted.

We would like to thank you for considering CHM Weatherguard. If you have any questions regarding this proposal or need additional clarification please contact me at 972-360-9888.

Regards,

David McDole
Director of Sales



November 8, 2016

Byrne Construction Services
2601 Scott Ave., Suite 300
Fort Worth, Texas 76103
Attn.: Brian Wolf

Re: Richland Hills Activity Center
SkiHi PCO#8

Dear: Brian

Attached is **SkiHi Proposed Change No. 8**. This pricing is for the changes per PR#01 which include adding a pump room with an added unit heater, exhaust fan, and plumbing piping with drains, hose bibb, and a wall hydrant.

The cost for this change is **Fourteen Thousand Five Hundred Eighty Five Dollars. \$14,585.00**

Should this change be accepted, please forward a change order to our contract for the above amount.

If you have any questions, please call.

Sincerely,
SkiHi Enterprises, Ltd.

A handwritten signature in blue ink that reads "John McCoy".

John McCoy
Project Manager

Cc: C520-Change Order

CHANGE ORDER PROPOSAL

SUBMIT TO: Byrne Construction
JOB NAME: Richland Hills Activty Center

PROPOSED BY: SKIHI ENTERPRISES, INC.

DATE: 11/8/2016

JOB NO.: C-520

WORK DESCRIPTION:
Changes per PR#01.

PROPOSED CHANGE NO.: 8

REF:

DESCRIPTION		AMOUNT	
MATERIALS, FIXTURES & EQUIPMENT:			
1.	Pipe, Valves, Fittings, Hangers		\$2,386
2.	Fixtures, RPZ		\$1,030
3.	Exhaust Fan		\$517
4.	Unit Heater		\$1,724
5.	EF Thermostat & Wiring		\$125
6.			\$0
	Materials and/ or Equipment	SUB-TOTAL	\$5,782
	Sales and/ or Use Tax	0.00	\$0
TOTAL MATERIALS, FIXTURES AND EQUIPMENT			\$5,782
LABOR:			
1.	Plumbing	117.0 MH@ 27. \$/ HR	\$3,159
2.	Foreman	0.0 MH@ 30. \$/ HR	\$0
3.	Helper	0.0 MH@ 17. \$/ HR	\$0
4.		0.0 MH@ . \$/ HR	\$0
5.	Sheetmetal	0.0 MH@ 27. \$/ HR	\$0
6.	Foreman	0.0 MH@ 30. \$/ HR	\$0
7.	Helper	0.0 MH@ 16 \$/ HR	\$0
8.		0.0 MH@ 0 \$/ HR	\$0
9.	EQUIP OPERATOR	0.0 MH@ 27. \$/ HR	\$0
10.	LABORER	0.0 MH@ 15. \$/ HR	\$0
11.		0.0 MH@ . \$/ HR	\$0
12.	Start-up personnel	8.0 MH@ 37. \$/ HR	\$296
13.	Superintendent	8.0 MH@ 40 \$/ HR	\$320
14.	ESTIMATOR/ASSIST. P.M.	0.0 MH@ 40. \$/ HR	\$0
15.	DETAILING	0.0 MH@ 38. \$/ HR	\$0
LABOR SUB-TOTAL			\$3,775
S.S., INSURANCE AND TAXES % 45.40%			\$1,714
FRINGES LABOR SUBTOTAL X 0%			\$0
SAFETY LABOR SUBTOTAL X 0%			\$0
ACCEL. &/ OR EFF. FACTOR %			\$0
TOTAL LABOR			\$5,489

PROPOSED CHANGE PAGE 2

CHANGE NO: 8

JOB EXPENSE COST:

1.	Service Charge per attached		\$0.00
2.	Equipment Fuel		\$0.00
3.	Small Tools		\$100
4.	Trench Box		\$0
5.	Crane w/ concrete bucket		\$0
6.	Skid Steer		\$0
7.	Sand, select fill, gravel		\$0
8.	Mobilization (Move-in/Move-out) % Mat'l/Lab)		\$0
9.	Other Detailing Cost	(0.0 HR @ \$10.00/HR)	\$0
10.			\$0.00
	TOTAL JOB EXPENSE COST		\$100

SUBCONTRACTS:

1.	Insulation Subcontractor		\$515
2.	Sheet Metal Subcontractor		\$1,373
3.	Controls Subcontractor		\$0
4.	Hydro Jet & Camera		\$0
5.	Painting Subcontract		\$0
6.	Electrical Subcontract		\$0
7.	General Construction Subcontract		\$0
8.	Medical Gas System Supplier		\$0
9.			\$0
10.			\$0
11.			\$0
	TOTAL SUBCONTRACTORS COST		\$1,888

RECAPITULATION:

1.	Materials and/ or Equipment Cost		\$5,782
2.	Labor Cost		\$5,489
3.	Job Expense Cost		\$100
4.	Subcontracts Cost		\$1,888
	SUB-TOTAL		\$13,259
5.	Guarantee (Warranty) (5% Equipment)		\$0
6.	Engineering & Drafting (7% Material)		\$0
7.	Special Insurance		\$0
	TOTAL DIRECT COST		\$13,259
8.	OH & Fee	10%	\$1,326
	TOTAL GROSS COST		\$14,585
10.	Bond % N.A.	0.00	\$0
	TOTAL BID		\$14,585

TUTOR ELECTRICAL SERVICE, INC.

201 Willow Creek Ct.
Mansfield, TX 76063
Phone: (817) 516-0064
Fax: (817) 516-0086
www.tutorelectric.com
TECL #17144

Electrical Bid Proposal

11/7/2016

Daniel Anderson
Byrne Construction Services
2601 Scott Ave. Suite 300
Fort Worth, TX 76103

Re: Richland Hills Activity Center PR #01 Phase #2
Richland Hills, TX.
Original Bid Date: 6/11/2016

Subj: Electrical Bid Proposal

Dear Mr. Anderson:

Tutor Electrical Service, Inc. submits the following electrical Proposal for the Richland Hills Activity Center PR #03 Phase 2 project located in Richland Hills, TX. Our Proposal is limited to the details of the scope of work specifically contained in the Electrical contract document drawings, addenda, and specifications included in the indices below, and the list of clarifications, additions, and considerations that follow. Before making project schedules, please contact us to discuss long-lead items and our time/task durations. By Byrne Construction Services' acceptance of this Proposal, it acknowledges that its representative has read the contents herein and accepts the terms and conditions included.

- Index of Electrical Drawings Dated 10/25/2016:
E101 E102 E501 E502 E702 WF4 WF6 WF11

This Proposal is based on the above listed drawings only. Any fixtures, devices, equipment connections, or appurtenances that appear on drawings other than those specifically listed in the above index are excluded from this Proposal unless specifically listed, by page number and description, in this Proposal. Tutor Electrical Service, Inc. makes no assumption as to the clarity or completeness of the engineered drawings and therefore accepts no responsibility for interpreting design intent, or for correcting errors or omissions. Items listed herein applicable to LEED points will be specifically identified as such; otherwise items are assumed to not be applicable to LEED points.

- Index of Included Addenda: None
- Index of Included Specification Sections: Division 26 Electrical

This Proposal is based on the understanding that the requirement to "refer to related scope," if used in any of the Specifications sections listed above, refers to coordination of work only, and does not indicate an expansion of the scope of work defined in this Proposal to include work listed elsewhere unless noted otherwise and specifically listed, by item and area of work, in this Proposal.

Regulated by The Texas Department of Licensing and Regulation,
P.O. Box 12157, Austin, Texas 78711,
1-800-803-9202, 512-463-6599;
website:www.tdlr.texas.gov

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TECL #17144

I. Pricing

A.	Base price for above scope of work:	\$ 264,900.00
B.	Alternate #1 Adder:	\$ 20,300.00
C.	Alternate #3 Adder:	\$ 13,100.00
D.	Sub-Total:	\$ 298,300.00
E.	Value-Engineered items:	--0--
F.	Total:	<u>\$ 298,300.00</u>

Byrne Construction Services will be required to pre-pay any portion (or the entirety) of the total price shown below if one or more of the specified materials manufacturers, or project owner's preferred or National Account vendors, require prepayment, deposit, or payment upon delivery (C.O.D.). Byrne Construction Services agrees with these terms. _____ Initials

A deposit of 0 % (or \$.00) Is Is Not X required to be paid to Tutor Electrical Service, Inc. prior to the purchase of the following materials:

- Index of Materials Requiring Pre-Payment: N/A

II. Scope of Work: Additions, Exclusions, and Clarifications

- A. Sales tax has been excluded from our Proposal. If Byrne Construction Services intends that the work covered hereby is to be performed on a tax-free basis, then Byrne Construction Services shall be required to provide a valid Exemption Certificate in sufficient time to allow Tutor Electrical Service, Inc. to verify the applicability of the exemption status. Absent valid documentation of the sales tax status of the work, Tutor Electrical Service, Inc. is required by law to charge, collect and remit sales tax.
- B. Our Proposal excludes any temporary power from this proposal. Existing T-pole is onsite and in place from Phase #1.
- C. Costs for connecting additional Construction Trailer(s), large or double-wide trailers, or non-standard temporary loads (such as welders, concrete saws, construction hoists or elevators) are not included in this Proposal and, if so required, shall be added as an Owner and General Contractor-approved change order at the discretion of Tutor Electrical Service, Inc. This budget excludes all Utility Company fees and utility bills for electricity used during construction.
- D. All Utility Company fees and infrastructure costs that may be associated with obtaining permanent electrical, telephone, data and/or other services are excluded from this Proposal.
- E. We have allotted for providing and installing a complete fixture package of the type and manufacturer specified in the bid documents, obtained from the Owner's specified supplier, unless noted otherwise herein.
- F. All light fixtures will be securely fastened to the ceilings and walls in which they are installed using listed fasteners and/or integral supports. Specifically excluded from this Proposal are any additional ceiling grid wires or other additional support devices or methods that may be shown or required by the contract documents or the Authority Having Jurisdiction for light fixture support.
- G. We have excluded any Fire Alarm from this proposal.
- H. We have allotted for (2) 2" PVC conduits with large-radius sweep elbows and pull strings for the new primary electrical conduit from the utility pole to the location of the new utility-provided, pad-mount transformer.

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 TECL #17144

- I. Unless noted otherwise, we have allotted for EMT conduit in all exposed locations, PVC conduit inside the pump house and underground.
- J. Included in our Proposal is a one-point connection to Panel LE-P for the fountain installer to tie his electrical equipment into.
- K. We have excluded providing or installing any lighting fixture or controls inside the fountain area. This work is to be done by the fountain installer.
- L. This Proposal does not include maintenance, repair, or replacement of any existing electrical equipment unless specifically called for in the drawings and specifically listed, by item and area of work, in this Proposal.
- M. Painting of any new electrical cabinets, equipment or conduit, is limited to touch-up of standard factory finishes as may be reasonably necessary, unless specifically called for in the electrical specifications. Tutor Electrical Service, Inc. is expressly not responsible for repairing damage to its work caused by others.
- N. All cutting, removal, and patching of walls, ceilings, and floors will be performed by others, unless noted otherwise and specifically listed, by item and area of work, in this Proposal.
- O. All concrete work, including cutting, removal, disposal, pour back, light pole bases, and forming and pouring of housekeeping pads will be performed by others and is excluded from this Proposal.
- P. This Proposal excludes all cost associated with any code violations existing at the work site or in the plans and specifications, as drawn, at time of bid, known or unknown.
- Q. Backing in walls and above ceilings that may be required for the installation of any equipment is excluded from this Proposal.
- R. We have excluded the furnishing and installation of any plywood backboards.
- S. The equipment, cabling, rough in, and installation is excluded for all low voltage systems, such as Voice/Data, CATV, CCTV, security, etc.
- T. We have excluded all HVAC control hardware, including HVAC controls, unless noted otherwise and specifically listed, by item and area of work, in this Proposal.
- U. All costs associated with hazardous materials (i.e. asbestos, PCB, etc.) are excluded.

III. Non-Scope Related Considerations

- A. Our State of Texas Electrical Contractor's License is #17144.
- B. We have excluded all plan check, permit, inspection and/or other fees that may be required by the Authority/Authorities Having Jurisdiction (AHJ) over this project. Re-inspection fees from the AHJ only that may be incurred as the result of a failed inspection due to a Tutor Electrical Service, Inc. deficiency are not considered part of this exclusion.
- C. This Proposal specifically excludes any engineering or design costs associated with any changes or modifications to the original contract drawings listed herein, unless noted otherwise and specifically listed, by item and area of work, in this Proposal.
- D. This Proposal will remain valid for a period of 30 days from the above date, after which date it is deemed withdrawn, unless renewed or reconfirmed in writing by Tutor Electrical Service, Inc.
- E. This Proposal, and the pricing contained herein, is based upon all work being performed during normal working hours, unless noted otherwise and specifically listed, by item and area of work, in this Proposal. In the event work is to be performed outside normal working hours, premium and/or overtime rates may apply and chargeable to Contractor unless specifically and solely caused by Tutor Electrical Service, Inc.
- F. This Proposal, in its entirety, shall be attached to and made a part of our Subcontract, and is an offer to enter into a standard AIA Document A401 (1997 Edition) Sub-Contract for the performance of this work. Tutor Electrical Service, Inc.'s bid and its agreement to perform the work set forth herein are explicitly contingent upon Byrne Construction Services and Tutor

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Electrical Service, Inc. successfully negotiating mutually-acceptable contract terms. Byrne Construction Services agrees that Tutor Electrical Service, Inc. will not be bound by any term or condition of the prime contract unless the same is provided (financial information redacted if necessary) following acceptance of this Proposal and prior to execution of the subcontract.

- G. The pricing in this Proposal is based on the following Insurance limitations currently maintained by Tutor Electrical Service, Inc.:

<i>General Liability:</i>	<i>General Aggregate</i>	\$2,000,000
	<i>Products -COMP/OP AGG</i>	\$2,000,000
	<i>Personal & Adv. Injury</i>	\$1,000,000
	<i>Each Occurrence</i>	\$1,000,000
	<i>Fire Damage (Any one fire)</i>	\$100,000
	<i>Med Exp. (Any one person)</i>	\$5,000

Excess Liability:

<i>Umbrella Form</i>	
<i>Each Occurrence</i>	\$2,000,000
<i>Aggregate</i>	\$2,000,000

Automobile Liability:

<i>Combined Single Limit (Each accident)</i>	\$1,000,000
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Workers' Compensation:

<i>EL Each Accident</i>	\$1,000,000
<i>EL Disease - Policy Limit</i>	\$1,000,000
<i>EL Disease - Ea. Employee</i>	\$1,000,000

Unless specifically included in this Proposal, all special insurance requirements are excluded and shall be subject to availability based upon carrier and surety underwriting standards, and if available and supplied, shall be supplied at additional cost. In submitting this Proposal, Tutor Electrical Service, Inc. is not enrolling in, nor accepting inclusion into any mandatory Owner-Controlled Insurance Program (OCIP) or Contractor-Controlled Insurance Program (CCIP).

- H. This Proposal is based upon the drawings provided by Byrne Construction Services either through digital transmittal, hard copy, or other means. Byrne Construction Services warrants that construction methods, fixtures, systems, panels, relays, disconnects, and other such devices specifically called for in the plans and specifications provided for bidding purposes meet all applicable codes and requirements at the time of inspection. If the drawings call for specific methods, fixtures, systems, panels, relays, disconnects and other such devices, which do not meet current codes and standards, then Byrne Construction Services will promptly issue an authorized change order to meet such requirements.
- I. Byrne Construction Services will timely respond to Tutor Electrical Service, Inc.'s written Requests for Information (RFI). Byrne Construction Services agrees that Tutor Electrical Service, Inc. may stop, without penalty, any electrical work which is affected by an unanswered RFI until Byrne Construction Services provides Tutor Electrical Service, Inc. with a written response that answers or clarifies the issues raised in the RFI. Tutor Electrical Service, Inc. will be paid for its costs of delay, acceleration, and re-work resulting from Byrne Construction Service's direction to proceed during an unreasonable delay in answering RFI's.
- J. Byrne Construction Services will promptly negotiate change orders. For the purpose of this proposal, a change order is defined as a "change to the contract sum or contract time issued after the execution of the contract by a party designated in the contract as having authority to make changes to the contract. Tutor Electrical Service, Inc.'s standard practice for pricing labor on change orders is controlled by the type of change order requested, and when the change occurs:
- For pre-installation changes to the base contract generated by a Request for Pricing

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 P.O. Box 12157, Austin, Texas 78711,
 1-800-803-9202, 512-463-6599;
 website:www.tdlr.texas.gov

TUTOR ELECTRICAL SERVICE, INC.

201 Willow Creek Ct.
 Mansfield, TX 76063
 Phone: (817) 516-0064
 Fax: (817) 516-0086
 www.tutorelectric.com
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- (RFP) or similar proposal, the total labor costs will be formulated using "new installation" labor units priced at an hourly rate of \$56.00 per hour (including labor burden).
- For post-installation changes to the base contract generated by a Request for Pricing (RFP) or similar proposal, the total labor costs will be formulated using "re-work" labor units (typically two times higher than "new") priced at an hourly rate of \$56.00 per hour (including labor burden).
 - For field-directed change orders performed on a time & material basis, total labor costs will be formulated using actual hours worked billed at \$85.00 per hour, employee classification notwithstanding.
- K. All costs associated with change orders (either proposed or directed) will have Overhead applied at 20%, unless controlled by the terms of the prime contract between the Owner and Byrne Construction Services.
- L. All costs associated with change orders (either proposed or directed), including Overhead, will have Profit applied at 10%, unless controlled by the terms of the prime contract between the Owner and Byrne Construction Services.
- M. Byrne Construction Services agrees that Tutor Electrical Service, Inc. is not required to proceed with any change order work without a properly executed, authorized change order that is mutually acceptable to both parties. Tutor Electrical Service, Inc., will not incur any additional costs to itself or any of its agents, including the purchase of additional materials until Byrne Construction Services provides Tutor Electrical Service, Inc. a written change order, on Byrne Construction Service's official Change Order form, executed by authorized persons. Tutor Electrical Service, Inc. will be held harmless from any costs or penalties incurred by or during an unreasonable delay in issuing change orders.
- N. Byrne Construction Services shall make monthly progress payments to Tutor Electrical Service, Inc. in accordance with Texas law. Progress payments will be calculated using a percentage-completed method based on a Schedule of Values established and submitted after contract execution. Progress payments will include the costs for all labor, materials, fixtures and equipment delivered to the site, or stored off site, incurred during each billing period, less retainage. The initial Progress payment will include start-up and mobilization fees equal to 10% of the total contract amount. All Progress payment invoices will be due upon receipt, and will be paid within contractual time limits or the Prompt Pay Statutes of the State of Texas, whichever is sooner.
- O. Invoices for Progress payments that become "Past Due" as defined under the Texas Property Code begin to accrue interest on the day after the date on which the payment becomes due. All unpaid amounts bear interest at the rate of 1.5% each month, or 18% annually. Interest on an unpaid amount stops accruing on the earlier of:
1. The date of payment delivery;
 2. The date of payment mailing, if payment is mailed and delivery occurs within three days; or
 3. The date a judgment is entered in an action brought under the Texas Property Code.
- P. Byrne Construction Services agrees that at the time of this Proposal, and unless specifically noted otherwise, Tutor Electrical Service, Inc. has not been provided with a copy of the Prime Contract or the terms and conditions of same to which Byrne Construction Services intends for Tutor Electrical Service, Inc. to be bound. However, by its acceptance of this Proposal, Byrne Construction Services agrees to provide all such terms and conditions for Tutor Electrical Service, Inc.'s review, negotiation and/or agreement, if any. Byrne Construction Services further agrees and acknowledges that Tutor Electrical Service, Inc. has not yet been provided with Owner's financial information in accordance with Chapter 56 of the Texas Business and Commerce Code in order to ascertain the financial ability of Owner to pay for the work performed by Tutor Electrical Service, Inc., and thus, Tutor Electrical Service, Inc.

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does not rely on Owner's payment therefore.

- Q. This Proposal is prepared based upon prevailing materials pricing as of the date of bid, and the pricing submitted herewith shall be binding upon Tutor Electrical Service, Inc. only if: (1) the bid is accepted as written before the Final Acceptance Date (as defined hereinabove); and (2) Tutor Electrical Service, Inc.'s work hereunder is initiated and scheduled such that Tutor Electrical Service, Inc. can order, deliver, and install (or securely store) all materials required for performance of the work prior to the expiration of three months from the date of bid (the Price-Protected Performance Period), after which Tutor Electrical Service, Inc. shall have the option of either (1) repudiating its agreement to perform the work, or (2) re-pricing its work to accommodate any escalations in the price of essential materials. In the alternative, Byrne Construction Services may confirm this pricing by (1) authorizing Tutor Electrical Service, Inc. to order and stock such materials prior to the expiration of the Price-Protected Performance Period; (2) paying Tutor Electrical Service, Inc. for all such materials immediately upon stocking same; and (3) providing secure and appropriate storage facility for such materials until the materials are needed at the jobsite.
- R. As of submission of this Proposal, Tutor Electrical Service, Inc. has a good-faith belief that all required materials will be available for use on this project when needed. If, as a result of materials shortages or other logistical difficulties beyond the control of Tutor Electrical Service, Inc., we are unable to secure all such materials after Byrne Construction Services acceptance hereof, Tutor Electrical Service, Inc. shall be entitled to terminate its contract and obligations, and shall have no further responsibility to Byrne Construction Services relating to this project, or any other.
- S. This Proposal is based upon Tutor Electrical Service, Inc.'s projection of available manpower and resources as determined at time of bid. In the event that project start-up as scheduled is delayed, or unforeseen conditions arise, Tutor Electrical Service, Inc. reserves the right to withdraw this Proposal without penalty.
- T. This Proposal is based on Tutor Electrical Service, Inc. performing all work according to an appropriately sequenced construction schedule. As soon as possible, after execution of the Subcontract and within a reasonable time before work is to commence on this project, Byrne Construction Services and Tutor Electrical Service, Inc. will cooperate in deriving the construction schedule. Byrne Construction Services schedule shall provide for optimal efficiency of electrical installation, objectively considering appropriate manpower requirements, and Tutor Electrical Service, Inc.'s Proposal and price are predicated upon this provision. Any material acceleration of work by Byrne Construction Services will be the subject of a change order.
- U. Tutor Electrical Service, Inc. will not be responsible for the costs of delays caused by the weather, the Owner, Byrne Construction Services, other trades or third persons not the employees, agents, or subcontractors of Tutor Electrical Service, Inc. Byrne Construction Services will pay to Tutor Electrical Service, Inc. its costs to protect finished work, or uncover and recover work, due to an inappropriate construction schedule or as a result of material delay or acceleration, which is not the fault of Tutor Electrical Service, Inc. These costs include, but are not limited to, the cost to demobilize, remobilize, return or reorder materials, opportunity cost, and inventory carrying costs, general conditions, overhead and profit.
- V. Byrne Construction Services shall provide access to an amount of work sufficient for a standard crew each work day. Any material delay resulting in added costs caused by other trades' failure to complete prior necessary work according to the established construction schedule, other trades' interference with current Tutor Electrical Service, Inc. work, or access to work areas restricted by the Owner or Byrne Construction Services shall be the subject of a Change Order.
- W. Byrne Construction Service's acceptance of Tutor Electrical Service, Inc.'s Proposal, in

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writing, is Byrne Construction Service's agreement to the terms and conditions herein. In accepting our Proposal, you agree to expressly incorporate all terms and conditions of this Proposal into any writing subsequently entered into between Byrne Construction Services and Tutor Electrical Service, Inc., which writing shall not supersede any of the terms in this Proposal. Byrne Construction Service's directive to proceed with the work proposed herein, or any part thereof, by written notice of intent, issuance of a subcontract, or other means shall constitute acceptance of all of the terms and conditions of this Proposal by Byrne Construction Services.

Thank you for the opportunity to present this Proposal. If you have questions, please do not hesitate to contact me.

Respectfully,

Jason Werry

Project Manager



STRUCTURED TECHNOLOGY CABLING QUOTE

4343 W. Royal Lane | Suite 118 | Irving | Texas | 75063
Main: 972-916-3100 or 800-486-0011 | Fax: 972-916-3140
Website: comnetcomm.com

Estimator Name: **Rodney Pollock**
Estimator Direct: **972-916-3121**
Estimator eFax: **855-818-1902**
Estimator Email: **rpollock@comnetcomm.com**

Change Order No.: 901

RECIPIENT INFORMATION:

CLIENT/SITE INFORMATION:

DATE: November 9, 2016



Byrne Construction Services
3100 W 7th St. Ste 200 | Fort Worth, TX
817-734-9350
bwolf@tsbyrne.com

ATTN: Brian Wolf

City of Richland Hills Texas
Richland Hills Activity Center
6750 Baker Blvd.
Richland Hills, TX 76118
Job #: 01-04-012204

EXECUTIVE SUMMARY:

This change order has been generated in order for ComNet to provide and install one (1) 4-Pair Cat6 OSP cable from the Activities Center MER to the Pump Equipment Building. Cable will be housed within a conduit path between the buildings that will be provided and installed by others (exact size, distance and route TBD). The distance is expected to exceed the TIA/EIA 10/100/1000 G-Base distance limitations by at least 300 more feet, and will not pass a Cat6 cable test, but will still function as a communications or control cable. After cable enters the building, it will be terminated at each end on a 4-pair Cat6 solid state lightning protection entrance terminals. From there, a Cat6 cross-connect will be terminated onto a Cat6 jack module housed in a surface mount box at both ends. *(An alternate price has been provided for a 2nd cable for future or alternate applications).*

Base Bid (One Cat6 to Pump Rm.):

Material: \$536.18
Installation: \$764.00
Total: \$1,300.18

Alternate Bid (Two Cat6 to Pump Rm.):

Material: \$1,066.40
Installation: \$995.00
Total: \$2,061.40

TERMS: Due upon receipt of Invoice

All (Applicable) local and state Taxes shall apply upon project completion

Rodney Pollock
[Estimator]

Accepted By:

Purchase Order Number:

Standard Practices

- The above scope of work will be performed according to ANSI/TIA/EIA-568-B.1 Commercial Building Cabling Standards Part 1 General Requirements and ANSI/TIA/EIA-568-B.2 Commercial Building Cabling Standards Part 2 Balanced Twisted Pair Cabling Components.
- The MER / TR installation shall comply with ANSI/TIA/EIA 569-A Commercial Building Cabling Standards for Telecommunications Pathways and Spaces along with BICSI 12th Edition TDMM recommendations.
- Distribution of the horizontal station cabling from the Telecommunications Room (TR) shall be made in such fashion as not to exceed 295 ft. (90 meters).
- Cables will be placed with sufficient bending radius as specified by the manufacturer so as not to kink, shear, or damage binders.
- Cable routes overhead will be field engineered to avoid obstruction, ducts, and other material and interference from electrical lines and fluorescent lights.
- An independent cable pathway with its own suspension system will be installed throughout the facility. Horizontal subsystem cabling support above the false ceiling will be at 5' intervals, utilizing 6" strap style supports for larger cable pathway and 2", or smaller, J-Hook support systems for support of branch pathways to work area outlets.
- Pathways will be established perpendicular and parallel to building lines.
- Cables will be labeled at both ends, within 6" of termination point and on the terminating device, such as patch panel port and faceplate.
- Fire-rated walls shall be sleeved and fire-sealed per proper rated assembly to restore rating of all penetrations.
- Pathway and spaces standard ANSI/TIA/EIA-569-A Commercial Building Standard for Telecommunications Pathways and Spaces will be adhered to with the above installation of cable support and fire suppression products.
- A #6 AWG ground wire will extend the ground from the Ground Bus Bar to the equipment racks and cable runway to establish a common ground mechanism. Installation shall be made per ANSI-J-STD-607-A.

Material Pricing Summary

Base Bid (One Cat6 OSP Cable to Pump Room)

MFG.	Part Number	Description	Quantity	UOM	Unit Price	Ext. Price
Commscope	4665904/10	Media 6@ 6NF4+ Category 6 U/UTP filled Cable, outdoor direct burial, black jacket, 4 pair count, 1000 ft, reel	1	Reel	\$327.78	\$327.78
SurgeGate	CAT6-LAN	Outside Plant Entrance Protection Module, 4-Pair Cat6 Rated, 110 in/110 out, 16V Solid State	2	ea.	\$95.28	\$190.56
CommScope	107984056	Surface Mount Box - 2 port_White	2	ea.	\$2.98	\$5.96
CommScope	UNJ600-WH	Category 6 UTP Modular Inserts_White (data)	2	ea.	\$5.94	\$11.88

Material: \$536.18
Installation: \$764.00
Total: \$1,300.18

Alternate Bid (Two Cat6 OSP Cables to Pump Room)

MFG.	Part Number	Description	Quantity	UOM	Unit Price	Ext. Price
Commscope	4665904/10	Media 6@ 6NF4+ Category 6 U/UTP filled Cable, outdoor direct burial, black jacket, 4 pair count, 1000 ft, reel	2	Reel	\$327.78	\$655.56
SurgeGate	CAT6-LAN	Outside Plant Entrance Protection Module, 4-Pair Cat6 Rated, 110 in/110 out, 16V Solid State	4	ea.	\$95.28	\$381.12
CommScope	107984056	Surface Mount Box - 2 port_White	2	ea.	\$2.98	\$5.96
CommScope	UNJ600-WH	Category 6 UTP Modular Inserts_White (data)	4	ea.	\$5.94	\$23.76

Material: \$1,066.40
Installation: \$995.00
Total: \$2,061.40

Assumptions

- Pricing is based on an (8) hour workday, 8:00 AM to 5:00 PM, Monday through Friday.
- This quote shall be void if the project contains the requirement for a Project Labor Agreement, Project Stabilization Agreement or similar labor harmony arrangement.
- If required, customer will provide all installation personnel with access badges, keys and / or escorts in order to perform the work in a timely manner.
- Customer will have a designated Project Manager to answer any/all questions that might arise during the project installation.
- Customer will provide area for storage of materials and telephone access.
- Return trips for operational verification of other vendors equipment, will be billable at standard rates should there be no fault found with cabling installation.
- Delays due to closings, limited access, or other events, which are the result of the customer's action or inaction, will be billed at a rate of \$48.00 per hour for every hour the delay exists.
- All pricing is based upon the scope of work stated in this proposal.
- No expedited construction costs are included in this pricing.
- Performance, payment bonds, and/or liquidated damages have not been included in our proposal.
- The customer is responsible for all conduit paths. It is assumed that all conduits are free from obstruction.
- Compliance with all applicable state and local codes will be adhered to by ComNet Communications, LLC.
- Identification of existing utilities is the customer's responsibility.
- Permits and/or right-of-ways are the customer's responsibility
- Installation of the Bonding Conductor for Telecommunications (BCT) is assumed to be provided by the Electrical Contractor from the approved service entrance ground to the Telecommunications Main Ground Busbar (TMGB) in the Main Equipment Room (MER). Electrical Contractor is to install Telecommunications Bonding Backbone (TBB) to each Telecommunications Ground Busbar (TGB).
- It is the customer's responsibility to provide ComNet Communications, LLC employees with an environment free from hazardous pollutants, including asbestos. In the event pollutants are encountered; the customer shall remove the pollutant and bear any additional construction charges that may result.

BP-310000 Earthwork				Raymond Construction		
RHAC - Phase II				Tracy Raymond		
Richland Hills, TX				(903) 440-6023		
BID DATE: 11/15/2016		TSB QTY	TSB PLUG			
BASE BID				\$38,428		
PER PLANS & SPECS				Yes		
ADDENDA				0		
BOND RATE				2.00%		
Wage Rates?				Yes		
Provide Bid Package?				N/A		
Attended Pre-Bid Meeting?				N/A		
Provided Budgeting Pricing?				N/A		
See attached Subcontractor Proposal.						
SWPPP Inspection		1 ls	\$1,650	\$1,650		
Inlet Protection Maintenance & Removal		5 each	\$275	\$1,375		
Silt Fence Maintenance & Removal		445 Inft	\$3	\$1,446		
Construction Entrance Install & Removal		2 each	\$1,750	\$3,500		
Lime Stabilization 12" at 6% 50CD		446 sqyd	\$8	\$3,566		
Licensend Survey		1 ls	\$2,750	\$2,750		
Barricades/ Traffic Control		1 ls	\$7,500	\$7,500		
SALES TAX EXCLUDED? ("Included" or "Excluded")				excluded		excluded
ADJUSTMENTS				\$21,788		
TOTAL WITHOUT BOND				\$60,216		
BOND PREMIUM				\$1,204		
TOTAL			\$13,936	\$61,420		
Parking Canopy Alternate				N/A		
Band Shell Alternate				N/A		
Veteran's Memorial Alternate				N/A		



PR # 1

Raymond Construction
323 PR 5991
Yantis TX, 75497
(p) 903-383-2777 (f) 903-383-2776

PR# 1

Attn: Estimating Dept

We propose to furnish all labor, materials, and equipment necessary to construct, as an independent contractor, the following described work listed below based on the plans & specs provided:

Earthwork, Demolition & Erosion Control for RHAC PR#1 according to plans & Specs by Pacheco Koch dated 10/25/16

DESCRIPTION

PR # 1

1	<i>Mobilization</i>	<i>APPROX.</i>	<i>1</i>	<i>LS</i>	<i>@</i>	<i>\$3,650.00</i>	<i>\$3,650.00</i>
2	<i>Rem Pavement</i>	<i>APPROX.</i>	<i>1,727</i>	<i>SY</i>	<i>@</i>	<i>\$7.00</i>	<i>\$12,089.00</i>
3	<i>Clear & Grubb</i>	<i>APPROX.</i>	<i>1</i>	<i>LS</i>	<i>@</i>	<i>\$2,250.00</i>	<i>\$2,250.00</i>
4	<i>Site Cut</i>	<i>APPROX.</i>	<i>831</i>	<i>CY</i>	<i>@</i>	<i>\$4.00</i>	<i>\$3,324.00</i>
5	<i>Site Fill</i>	<i>APPROX.</i>	<i>1,852</i>	<i>CY</i>	<i>@</i>	<i>\$5.00</i>	<i>\$9,260.00</i>
6	<i>Scarify & Recompact Subgrade</i>	<i>APPROX.</i>	<i>1</i>	<i>LS</i>	<i>@</i>	<i>\$2,000.00</i>	<i>\$2,000.00</i>
7	<i>Grade + - .10</i>	<i>APPROX.</i>	<i>1</i>	<i>LS</i>	<i>@</i>	<i>\$3,355.00</i>	<i>\$3,355.00</i>
8	<i>Backfill Curbs</i>	<i>APPROX.</i>	<i>1</i>	<i>LS</i>	<i>@</i>	<i>\$2,500.00</i>	<i>\$2,500.00</i>

Subtotal: \$38,428.00

EXCLUDES:

- Haul off of contaminated spoils*
- Lime Stabilization*
- Construction Material Testing*
- Cleanup/Regrading for other trades*
- Storm Water Pollution Prevention Plan*
- Export of spoils for other trades*
- Payment, Performance & Maintenance Bonds*

INCLUDES:

For questions concerning this proposal Contact Tracy Raymond (903-440-6023) or traymond@raymondconstructionllc.com visit us @ www.raymondconstructionllc.com

Estimate



ATC Lone Star Services

5025 Martin Luther King Freeway
Fort Worth, TX 76119

Ph: 817-831-2727

Fx: 817-831-2621

Date	Estimate #
11/4/2016	27431

Customer Name
Thos S. Byrne 2601 Scott Avenue, Suite 300 Fort Worth, TX 76103 817-335-3394
Service Location
Richland Hills Activity Center Ph II 6750 Baker Blvd Richland Hills, TX 76118

Description	Total
Change Order #1 to Existing Contract New Layout and Striping, To Include Approximately: 1 - ADA Sign & Logo 1 - ADA Hash 47 - Wheelstops 56 - Parking Spaces Clean Pavement to Prepare for Striping, If Requested, Will Be An Additional \$ 2000.00 Included Move-Ins: Striping = 1 ; Cleaning = 1. (Should Additional Move-Ins Be Required Due to Construction Debris, Vehicles/Trailers, or Any Factors Interfering w/Scheduled Work, Each Additional Move-In Will Be Charged @ \$600.00/EA.) All Addenda Have Been Reviewed and Reflected in This Bid	5,800.00

* PRICING IS SUBJECT TO CHANGE AFTER 180 DAYS DUE TO MATERIALS COST & ESCALATION

TOTAL = \$5,800.00

* INSURANCE DOCUMENTS AVAILABLE UPON REQUEST

F.S.I. (Flagpoles, Signs & Interiors)

Estimate

6021 Montrose Ct E
Cleburne, Texas 76033
Tel # 817-226-2266
Tax ID # 16-1665931

Date	Estimate #
11/1/2016	3153

Name / Address
Byrne Construction Brian Wolf 2601 Scott Avenue, Suite 300 Fort Worth, TX 76115

Project
Richland Hills Activity Center 6750 Baker Blvd. Richland Hills, TX 76118

Description	Qty	Rate	Total
25' X 6" X .188" Independence Model Flagpole	1	2,900.00	2,900.00
20' X 6" X .188" Independence Model Flagpole	2	2,800.00	5,600.00
Winch Based, Internal Halyard, Aluminum Flagpoles Clear Anodized Finish Gold Anodized Finial Ball 1/8" Stainless Steel Aircraft Cable Halyard Stainless Steel Swivel Snaps w/ Vinyl Covers All Components Included Flash Collar Galvanized Ground Sleeve Submittals & Installation Included			
*Winch Operator with flush door requires min. 6" base diameter (5" base was specified on the 20' flagpole drawings)			
HUB CERTIFICATION #1161665931100		Subtotal	\$8,500.00
		Sales Tax (8.25%)	\$0.00
		Total	\$8,500.00

MAVERICK

UTILITY CONSTRUCTION, INC.

P.O. Box 728
Euless, TX 76039

Phone: 817-684-0858
Fax: 817-684-0360

Change Proposal #5

Date
11/10/2016

Contact Info

Project

Please Direct All Questions to Bryan Yule byule@mavutility.com			NRH Activities North Richland Hills		
Item	Description	Quantity	Unit	Unit Price	Total

Section A - Water Distribution

1	2" PVC Domestic Water	103	l.f.	\$ 37.05	\$ 3,816.15
2	2" Water Service (No Meter)	1	ea.	\$ 8,236.00	\$ 8,236.00
3	Cut & Remove Paving	241	s.f.	\$ 7.20	\$ 1,735.20
4	Paving Replacement	241	s.f.	\$ 10.10	\$ 2,434.10
5	Traffic Control	1	l.s.	\$ 5,716.00	\$ 5,716.00
6	Testing	103	l.f.	\$ 4.10	\$ 422.30
7	Trench Safety	103	l.f.	\$ 7.00	\$ 721.00
8	Layout	1	l.s.	\$ 545.00	\$ 545.00
Total Water					\$ 23,625.75

Item	Description	Quantity	Unit	Unit Price	Total
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Section B - Sewer Distribution

1	4" SDR-26 PVC Sewer	64	l.f.	\$ 70.42	\$ 4,506.88
3	Connect To Existing Manhole	1	ea.	\$ 2,691.00	\$ 2,691.00
4	Testing	64	l.f.	\$ 4.10	\$ 262.40
5	Trench Safety	64	l.f.	\$ 5.00	\$ 320.00
6	Layout	1	l.s.	\$ 339.00	\$ 339.00
Total Sewer					\$ 8,119.28

Item	Description	Quantity	Unit	Unit Price	Total
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Section C - Storm Drain Distribution

1	18" HDPE Storm Drain	32	l.f.	\$ 121.74	\$ 3,895.68
2	Connect to Existing Storm	4	ea.	\$ 1,503.00	\$ 6,012.00
3	Demo Existing Inlet	1	ea.	\$ 1,494.00	\$ 1,494.00
4	Demo Existing Storm Line	44	l.f.	\$ 22.03	\$ 969.32
5	Trench Safety	32	l.f.	\$ 8.00	\$ 256.00
6	Layout	1	l.s.	\$ 169.00	\$ 169.00
Total Storm					\$ 12,796.00

Item	Description	Quantity	Unit	Unit Price	Total
Section D - Miscellaneous Section					
1	One Mobilization	1	ea.	\$ 4,941.00	\$ 4,941.00
2	City Maintenance Bond	1	ea.	\$ 1,500.00	\$ 1,500.00
3	Off Site Haul Off of Spoils - Class 1	28	cy	\$ 77.60	\$ 2,172.80
4	P&P Bond	1	ea.	\$ 2,645.80	\$ 2,645.80
5	Plumber Charge	1	ea.	\$ 2,760.00	\$ 2,760.00
Total Misc					\$ 14,019.60
Total Proposal					\$ 58,561.00

Item	Description	Quantity	Unit	Unit Price	Total
Section E - Optional					
1	Public Inspection Fees	1	ea.	\$ 2,514.00	\$ 2,514.00
2	2" Water Meter	1	ea.	\$ 2,746.00	\$ 2,746.00

Alternate to Replace 2 - #20 Catch Basins That May Need to be Lowered					
1	#20 Catch Basin	2	ea.	\$ 2,090.00	\$ 4,180.00
2	Demo Existing Inlet	2	ea.	\$ 1,494.00	\$ 2,988.00
Total					\$ 7,168.00



Proposal

EarthTones Landscaping

Client Name: Byrne
 Project Name: Richland Hills Activity Center
 Jobsite Address: Richland Hills, TX Billing Address: Richland Hills, TX
 Estimate ID: EST459992 Drawing #: PR # 1
 Date: Nov 01, 2016

Exclusions: Furnishing if any, Hardscape, Top Soil for lawn areas, Concrete mow strip, Drainage, Miscellaneous, Sand at Trenches, Maintenance, Excavation, Cost of bonding, OCP insurance premiums, fee(s) for drug testing and background check(s), water meter, tap in, impact fees, electrical service for irrigation controller, sub-grade preparation, sub-grade preparation at lawn and bed area(s), cost of water for maintenance and establishment, flat work, tree preservation unless specifically shown above, restoration in areas outside of scope, cutting, patching, and boring.

Plans Dated 10/25/16 PR # 1

Maintenance \$4,000 per month

Landscaping	\$2,531.13
--------------------	-------------------

6	Each	Bald Cypress - 6" cal	not available on container
6	Each	River Birch - 95 Gal BMNTF	
2	Each	Allee Elm - 3" cal	
2	Each	Shantung Maple - 65 Gal.	
3	Each	Bald Cypress - 65 Gal.	
1	Each	Southern Wax Myrtle - 65 Gal.	
4	Each	Art's Seedless Desert Willow - 65 Gal.	
16	Each	Green Cloud Sage - 5 Gal.	
5	Each	Lynn Legacy Cenizo - 5 Gal.	
7	Each	Sea Green Juniper - 5 Gal	
28	Each	Cimarron Cenizo - 3 Gal.	
32	Each	Gulf Muhly - 3 Gal.	
3	Each	Blue Grama - 1 Gal.	
87	Each	Mexican Feather Grass - 1 Gal.	
20	Each	Abelia, Rose Creek - 3 Gal.	
24	Each	Honeysuckle, Coral - 1 Gal.	
299	Each	Purple Wintercreeper - 4" pots	
41	Each	Bed Mix - cubyd	Install at a depth of 14"

11	Each	Mulch- Hardwood - cbyds	Install at a depth of 3"
6	Each	Below Grade Tree Stake Kits	
19	Each	Sod-Tif 419 Bermuda - sqyd	
13	Each	2-4" Colorado River Rock Cobble - 1 ton	Install at a depth of 4"

Irrigation	-\$2,531.13
-------------------	--------------------

1	Each	1" Irrigation Zone Labor(Tier 2) - 1
1	Each	1" Irrigation Zone Material(Tier 2) - 1"
2	Each	1.5" Irrigation Zone Labor(Tier 2) - 1.5"
2	Each	1.5" Irrigation Zone Material(Tier2) - 1.5"

	Subtotal	\$0.00
	Taxes	\$0.00
	Estimate Total	\$0.00

Estimate authorized by: _____
Company Representative

Estimate approved by: _____
Customer Representative

Signature Date: _____

Signature Date: _____



Proposal

EarthTones Landscaping

Client Name: Byrne
 Project Name: Richland Hills Activity Center
 Jobsite Address: Richland Hills, TX Billing Address: Richland Hills, TX
 Estimate ID: EST459998 Drawing #: PR # 1 Phase 2
 Date: Nov 01, 2016

Exclusions: Furnishing if any, Hardscape, Top Soil for lawn areas, Concrete mow strip, Drainage, Miscellaneous, Sand at Trenches, Maintenance, Excavation, Cost of bonding, OCP insurance premiums, fee(s) for drug testing and background check(s), water meter, tap in, impact fees, electrical service for irrigation controller, sub-grade preparation, sub-grade preparation at lawn and bed area(s), cost of water for maintenance and establishment and flat work, tree preservation unless specifically shown above, restoration in areas outside of scope, cutting, patching, and boring.

Plans Dated 10/25/16 PR # 1 Phase 2

Maintenance \$4,000 per month

Landscaping	\$76,333.48
--------------------	--------------------

14	Each	Allee Elm - 6" cal	
2	Each	River Birch - 95 Gal BMNTF	
2	Each	Oak, Red Shumard - 65 Gal.	
2	Each	Shantung Maple - 65 Gal.	
3	Each	Bald Cypress - 65 Gal.	
2	Each	Texas Red Bud - 45 Gal.	
2	Each	Art's Seedless Desert Willow - 65 Gal.	
70	Each	Loropetalum, Purple Diamond - #5	
143	Each	Cimarron Cenizo - 3 Gal.	
49	Each	Gulf Muhly - 3 Gal.	
185	Each	Blue Grama - 1 Gal.	
163	Each	Mexican Feather Grass - 1 Gal.	
45	Each	Abelia, Rose Creek - 3 Gal.	
34	Each	Honeysuckle, Coral - 1 Gal.	
150	Each	Bed Mix - cubyd	Install at a depth of 14"
45	Each	Mulch- Hardwood - cbyds	Install at a depth of 3"
27	Each	Below Grade Tree Stake Kits	
3670	Each	Sod-Tif 419 Bermuda - sqyd	

82 Each Decomposed Granite - 1 Ton Install at a depth of 4"
4000 Each Weed Barrier Fabric - sqft

Irrigation **\$30,203.47**

1 Irrigation Design Build
1 Irrigation Permit Fee
1 Irrigation Design Fee

Sleeves **\$4,076.88**

1 Irrigation Sleeves Budget

	Subtotal	\$110,613.83
	Taxes	\$0.00
	Estimate Total	\$110,613.83

Estimate authorized by: _____
Company Representative

Estimate approved by: _____
Customer Representative

Signature Date: _____

Signature Date: _____



	\$ 1,539,512	COST VALUE OPTIONS LOG
Pending	\$ 396,054	RHAC - Phase II
Accepted	\$ -	50% Construction Documents
Potential Revisions	\$ 396,054	
Current Estimate	\$ 1,539,512	

No.	Date	Description	Value	Pending	Accepted	Rejected	Notes
ALTERNATES							
Alt. 1	11/15/2016	Parking Canopies	\$ 174,240	\$ 174,240			
Alt. 2	11/15/2016	Veteran's Memorial Monoliths	\$ 41,558	\$ 41,558			
Alt. 3	11/15/2016	Pavilion/Band Shell	\$ 69,641	\$ 69,641			
Alt. 4	11/15/2016	Fencing at Police Parking Area	\$ 110,615	\$ 110,615			
Total			\$ 396,054	\$ 396,054	\$ -	\$ -	

ALTERNATES											
									Contingency 10%		
Alt. 1	Parking Canopies	Qty	UM	Sub	Labor	Material	Sub Total	Lab. Total	Mat Total	Total	
	Parking Canopies (SUPPLY)	2.00	LSUM	\$ 49,800.00			\$ 99,600	\$ -	\$ -	\$ 99,600	
	Parking Canopies (INSTALL)	2.00	LSUM	\$ 14,000.00			\$ 28,000	\$ -	\$ -	\$ 28,000	
	Foundations ALLOWANCE	1.00	LSUM	\$ 8,000.00			\$ 8,000	\$ -	\$ -	\$ 8,000	
	Paint ALLOWANCE	1.00	LS	\$ 2,500.00			\$ 2,500	\$ -	\$ -	\$ 2,500	
	Electrical	1.00	LSUM	\$ 20,300.00			\$ 20,300	\$ -	\$ -	\$ 20,300	
							\$ -	\$ -	\$ -	\$ -	
									Sub Total	\$ 158,400	
									Contingency	\$ 15,840	
Alt. 1										Grand Total	\$ 174,240
Alt. 2	Veteran's Memorial Monoliths	Qty	UM	Sub	Labor	Material	Sub Total	Lab. Total	Mat Total	Total	
	Grade Beams ASSUMED	32.00	LF	\$ 150.00			\$ 4,800	\$ -	\$ -	\$ 4,800	
	Mow Strips ALLOWANCE	80.00	LF	\$ 26.00			\$ 2,080	\$ -	\$ -	\$ 2,080	
	Masonry Backup ALLOWANCE	105.00	SF	\$ 20.00			\$ 2,100	\$ -	\$ -	\$ 2,100	
	Granite ALLOWANCE	297.50	SF	\$ 80.00			\$ 23,800	\$ -	\$ -	\$ 23,800	
	Plaques ALLOWANCE	5.00	EA	\$ 500.00			\$ 2,500	\$ -	\$ -	\$ 2,500	
	Medallions ALLOWANCE	5.00	EA	\$ 500.00			\$ 2,500	\$ -	\$ -	\$ 2,500	
									Sub Total	\$ 37,780	
									Contingency	\$ 3,778	
Alt. 2										Grand Total	\$ 41,558
Alt. 3	Pavilion/Band Shell	Qty	UM	Sub	Labor	Material	Sub Total	Lab. Total	Mat Total	Total	
	Foundations ALLOWANCE	6.00	EA	\$ 1,500.00			\$ 9,000	\$ -	\$ -	\$ 9,000	
	Mow Strips ALLOWANCE	35.00	LF	\$ 26.00			\$ 910	\$ -	\$ -	\$ 910	
	Steel Structure & Roof (SUPPLY)	1.00	LS	\$ 29,000.00			\$ 29,000	\$ -	\$ -	\$ 29,000	
	Steel Structure & Roof (Install)	1.00	LS	\$ 9,800.00			\$ 9,800	\$ -	\$ -	\$ 9,800	
	Paint ALLOWANCE	1.00	LS	\$ 1,500.00			\$ 1,500	\$ -	\$ -	\$ 1,500	
	Electrical	1.00	LS	\$ 13,100.00			\$ 13,100	\$ -	\$ -	\$ 13,100	
									Sub Total	\$ 63,310	
									Contingency	\$ 6,331	
Alt. 3										Grand Total	\$ 69,641
Alt. 4	Fencing at Police Parking Area	Qty	UM	Sub	Labor	Material	Sub Total	Lab. Total	Mat Total	Total	
	Fencing	1.00	LS	\$ 100,559.00			\$ 100,559	\$ -	\$ -	\$ 100,559	
							\$ -	\$ -	\$ -	\$ -	
									Sub Total	\$ 100,559	
									Tax	\$ -	
									Contingency	\$ 10,056	
Alt. 4										Grand Total	\$ 110,615

Jason Moore

From: Daniel Anderson
Sent: Wednesday, November 9, 2016 3:26 PM
To: Brian Wolf; Jason Moore
Subject: Fwd: Richland Hills Activity Center, Phase 2 - Pavilion
Attachments: Marana 20x75 SS 212 8 Eave DB 5 Col NFC ALL.pdf; ATT00001.htm; Vienna 40 OA SS 412 8 Eave 5 Col NFC ALL.pdf; ATT00002.htm; North Richland Hills Activity Center Estimate.pdf; ATT00003.htm

Attached is the budget and information on the pavilion structure and the covered parking structures. We will need to get Cheyenne to price the concrete bases indicated on the attached drawings. Take note that the concrete bases will require engineering to determine if what is shown is ample, but I figured that can be reconciled with what they carry in their estimate for phase 2 once we get that engineering completed, etc.

Sent from my iPhone

Daniel Anderson
Director of Virtual Design and Construction
Senior Estimator
Byrne Construction Services
[2601 Scott Avenue, Suite 300](http://2601%20Scott%20Avenue,%20Suite%20300)
[Fort Worth, Texas 76103](http://Fort%20Worth,%20Texas%2076103)
(P) [817-335-3394](tel:817-335-3394)
(F) [817-877-5507](tel:817-877-5507)
www.tsbyrne.com

Begin forwarded message:

From: "Kim Neal" <sitesource@tx.rr.com>
To: "Daniel Anderson" <danderson@tsbyrne.com>
Subject: RE: Richland Hills Activity Center, Phase 2 - Pavilion

Hi Daniel,
Here is the estimate for the Vienna model. I put the installation as an option.
My sub carries workman's comp, and automobile insurance and general liability, I just carry general liability. My general liability meets your requirements, his workman's comp and auto meet you requirements.
I'm not sure about getting a performance bond. I don't normally get bonds for our scope of work.

I gave James pricing for the Vienna model (estimate and drawings attached) and a Marana Model, (pricing below and drawings attached).
Please let me know if you have any questions.
Thanks,
Kim

Marana model by Classic Recreation Systems, 20' x 75', Standing Seam Design Span Roof, 2:12 Roof Pitch, 8' Eave Height, Tube Steel Fascia, 5 Columns, Direct Bury Full, TGIC Poly Powder Coat w/Zinc Rich Primer, Texas Engineer Stamp, Delivered- \$49,800

Option for Installation- \$14,000 Would include off-load, assembly of the structure and clean up. It would not include any concrete, electrical or masonry work.

From: Daniel Anderson [<mailto:danderson@tsbyrne.com>]
Sent: Tuesday, November 8, 2016 4:17 PM
To: Kim Neal <sitesource@tx.rr.com>
Subject: RE: Richland Hills Activity Center, Phase 2 - Pavilion

There is no problem with you subcontracting the installation to somebody, with the understanding that we are not expected to manage your subcontractor. With that said, we will certainly do what we can to assist you and them in the installation, but we have a lot of other scopes of work on the project to manage.

On a similar subject, I have attached our Bid Package Manual for the first phase of the project. As you will notice, this document mostly references to the first phase rather than the phase 2 scopes of work, however our subcontract agreement, contract conditions, safety responsibilities and policies, job related forms (in particular the insurance, pay app requirements, daily report forms, warranty requirements, etc.) will still be the same for this contracted scope of work. Please review and confirm (and include in your bid any necessary premiums) compliance with the requirements noted. Let me know if you have any questions regarding or issues obtaining any of these requirements/ expectations.

If you can provide me with any pricing or information that you have provided James, that would be greatly appreciated.

Thank you,

Daniel Anderson CM-BIM
Director of Virtual Design and Construction
Senior Estimator
Byrne Construction Services
2601 Scott Avenue, Suite 300
Fort Worth, Texas 76103
(P) 817-335-3394 | (F) 817-877-5507
www.tsbyrne.com

From: Kim Neal [<mailto:sitesource@tx.rr.com>]
Sent: Tuesday, November 8, 2016 1:30 PM
To: Daniel Anderson <danderson@tsbyrne.com>
Subject: RE: Richland Hills Activity Center, Phase 2 - Pavilion

Hi Daniel,
Yes, I am getting the installation pricing from my installer. I use a sub for installation would that be a problem?
I had tried to pull up the plans, is the Vienna model shown on the plans. I had also given James pricing for a Marana model (maybe as a car parking cover) do you know if you need pricing on that as well?
Thanks,
Kim

From: Daniel Anderson [<mailto:danderson@tsbyrne.com>]
Sent: Tuesday, November 8, 2016 1:24 PM
To: sitesource@tx.rr.com
Subject: Richland Hills Activity Center, Phase 2 - Pavilion

Kim,

I wanted to follow up with you to make sure that you received my ITB via isqft, make sure that you did not have any questions, and confirm that you will be able to provide a turnkey proposal to me by Thursday. Please let me know when you get a minute. Thank you.

Thank you,

Daniel Anderson CM-BIM
Director of Virtual Design and Construction
Senior Estimator
Byrne Construction Services
2601 Scott Avenue, Suite 300
Fort Worth, Texas 76103
(P) 817-335-3394 | (F) 817-877-5507
www.tsbyrne.com

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[Byrne Construction Services](#)

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[Byrne Construction Services](#)

Site Source Inc.
P.O. Box 270190
Flower Mound, TX 75027
972-539-4024
972-539-0520 (fax)

Quotation

Date	Estimate #
11/2/2016	478

Name / Address
Byrne Attn: Daniel Anderson North Richland Hills Activity Center

Estimated Shipping	Terms	Validity	Rep	Project
9-11 weeks	Negotiable	90 days	KN	Activity Center

Item	Description	Qty	Unit Price	Total
Vienna	Vienna Model by Classic Recreation Systems, 40', Standing Seam Design Span Roof, 4:12 Roof Pitch, 8' Eave Height, Tube Steel Fascia, 5 Columns Surface Mount, TGIC Poly Powder Coat w/Zinc Rich Primer, 1/2 Octagon, 640 sq. Feet under Roof. Provision for Electrical, Texas Engineer Stamp, Delivered. Option for Installation: Would include off-load, assembly of the structure and clean up. It would not include anchor bolts, concrete, masonry or electrical work.- \$9,800	1	29,000.00	29,000.00T

NCTRCA #WFWB52819N0313 HUB # 1264226952100	Sales Tax (0.0%)	\$0.00
Total		\$29,000.00

Phase II - 50% CD Estimate Clarifications & Assumptions

Qualifications & Clarifications

Richland Hills Activity Center - Phase 2

50% CD Estimate

Date: November 16, 2016

General Conditions:	
1	A Contractor's Construction Contingency of 10% is included in this estimate, and is intended for construction use only. Owner contingency is excluded from this estimate.
2	A construction fee of 2.75% is included on the cost summary, and is based upon the total construction cost.
3	Builders Risk Insurance is included, and based upon the total cost.
4	CGL & Umbrella Insurance is included, and based upon the total cost.
5	Payment and Performance bonds for Byrne have been included on the cost summary, and are based upon the total cost.
6	The CM pre-construction services lump sum fee of \$9,390 is excluded from this budget as it was covered via Change Order #5 to Phase 1 contract.
7	The General Conditions included in this estimate are based upon approximately 6 months to substantial completion. Overall project completion is 7 months. These are also based upon the general conditions description as outlined in the RFP documents. .
8	This budget is to be reviewed as a whole, not as individual line items.
9	Scope of work for "Phase 2" is included. All work indicated for "Phase 1" is excluded, with the exception of deducts and credits for work that is to be replaced by scope to be constructed during Phase 2.
Construction Cost of Work Items:	
1	Sales tax is excluded.
2	This budget is based upon electronic design document files and models being available to all subcontractors at no additional cost. BIM files will only be available to subcontractors after bidding and award of the project.
3	All costs associated with water/sewer tap fees, building permits and plan check fees, or similar, required by any governing agency to include County, City, State, or Federal entities, in addition to any and all utility entities are specifically excluded.
4	All FF&E, OFE, and furnishings are excluded from this budget, unless specifically noted in the budget detail and qualifications below.
5	All hazardous or contaminated material and soil testing, remediation, investigation, and abatement is excluded.
6	Site is assumed to be free of any contaminates, unencumbered, and ready to begin excavation work.
7	Testing Lab services for materials, mock-ups, or delegated engineering components are to be provided by the Owner, and are excluded.
8	Testing of building components for water or air intrusion is excluded and is to be provided by the Owner.
9	Commissioning Agent and Services are to be provided by the Owner.
10	Design Fees or services are excluded. Where required in the specifications, the Construction Manager will provide design calculations and information provided by the Trade Contractors to the Architect and Engineer for approval and acceptance of the design.
11	The CM does not warrant or guarantee functionality of the design with the Owner's requirements. The CM relies upon the designers to include and detail the Owner's requirements into the design documents.
12	The CM will provide oversight and review of submittals for compliance with the contract documents, however, the design team shall bear the full responsibility for acceptance and approval of all submittals.
Division 2 - Existing Conditions:	
1	None at this time.

Qualifications & Clarifications

Richland Hills Activity Center - Phase 2

50% CD Estimate

Date: November 16, 2016

Division 3 - Concrete:	
1	Piers are assumed as 3' diameter & 8' deep at the parking canopy only. No other piers are included.
2	Foundations for the pavilion structure are assumed at 5' x 5' x 18" deep.
3	Foundations for the Veteran's Memorial monoliths are included via an allowance of \$4,500.
4	Estimate includes provisions for temporary sidewalk access from Phase 1 parking area to City Hall during construction operations.
Division 4 - Masonry:	
1	Masonry is not assumed or included at the pavilion structure.
Division 5 - Metals:	
1	No pipe bollards found in documents, therefore these are excluded from the proposal.
2	Ornamental metals cost includes two gate operators (Elite SL-3000) and all required access controls and accessories to provide a complete and functioning system.
Division 6 - Wood, Plastics and Composites:	
1	Estimate does not assume or include any wood finishes at Phase 2.
Division 7 - Thermal and Moisture Protection:	
1	Estimate includes cost for additional site paving & sidewalks joint sealants only.
2	Estimate does not assume or include any waterproofing or fireproofing of the pump house.
Division 8 - Openings:	
1	Estimate does not assume or include any glazing or openings at Phase 2.
Division 9 - Finishes:	
1	Estimate includes an allowance of \$7.50/bldg sf for paint finish of the pavilion structure.
2	Estimate does not assume or include any plaster or stucco finishes at Phase 2.
3	Estimate does not assume or include any flooring or wall finishes at Phase 2.
Division 10 - Specialties:	
1	No Specialties items included.
Division 11 - Equipment:	
1	Phase 1 GMP includes provisions for playground equipment, therefore this estimate does not include provisions
Division 12 - Furnishings:	
1	Estimate does not assume or include any provisions for signage.
Division 13 - Special Construction:	
1	Pavilion structure is assumed to be a pre-engineered structure.
2	Covered parking structures are assumed to be pre-engineered structures.
Division 14 - Conveying Equipment:	
1	No Conveying Equipment items included.
Division 23 - Heating, Ventilating and Air Conditioning:	
1	Estimate includes mechanical scope as shown on PR #01 Mechanical drawings only.
Division 26 - Electrical:	
1	Estimate includes electrical scope as shown on PR #01 Electrical drawings only.
2	Electrical scope for the parking canopy is included in costs for Alternate 1 Parking Canopy.
3	Electrical scope for the pavilion is included in costs for Alternate 3 Pavilion.
4	Estimate an allowance of \$15,000 for provisions for audio/video system at the pavilion structure.

Qualifications & Clarifications

Richland Hills Activity Center - Phase 2

50% CD Estimate

Date: November 16, 2016

5	Estimate includes a plug of \$5,000 for a telecommunications raceway between the Pump House and Activities Center for water feature equipment shown to connect to City's network.
6	New telecommunications conduit pathway and pull boxes between City Hall and Activities Center are excluded from this proposal.
Division 31 - Earthwork:	
1	Termite pre-treatment is not assumed or included, as there is no expectation of any wood installations.
2	Lime stabilization is included as an allowance to the earthwork costs.
3	Contaminated spoils haul-off is excluded from the Phase 2 proposal.
Division 32 - Exterior Improvements:	
1	Full landscaping and irrigation scope is included as shown on PR #01 Irrigation and Landscaping drawings.
2	Veteran's Memorial alternate pricing includes new flagpoles; removal and relocation of existing flagpoles from
Division 33 - Utilities:	
1	Proposal includes full scope of site utilities as shown on PR #01 Civil drawings.
Other	
1	Current water feature design may exceed project allowances. Further refinement of the design could lead to schedule impacts which will have to be evaluated as design and procurement of the water feature is completed.

Phase II - 50% CD Estimate Document List

Contract Documents List

Richland Hills Activity Center - Phase 2
 Richland Hills, Texas
 50% CD Estimate

Date: 11/15/2016

Sheet	Original Date	Sheet Name
Drawings		
C0.1	03/21/16	Site Plan - Phase 1
C.02	10/28/16	Site Plan - Phase 2
C1.2	10/25/16	Revised Demolition Plan - Phase 1
C1.3	10/25/16	Demolition Plan - Phase 2
C2.1	03/21/16	Dimensional Control Plan - Phase 1
C2.2	10/25/16	Dimensional Control Plan - Phase 2
C2.3	10/25/16	Dimensional Control Plan - Phase 2
C3.1	03/21/16	Grading Plan - Phase 1
C3.2	03/21/16	Grading Plan - Phase 1
C3.3	10/25/16	Grading Plan - Phase 2
C3.4	10/25/16	Grading Plan - Phase 2
C4.4	03/21/16	Storm Sewer Hydraulics
C4.5	10/25/16	Storm Sewer Hydraulics
C5.1	05/25/16	Site Utility Plan
C5.2	10/25/16	Site Utility Plan - Phase 2
C6.1	03/21/16	Paving Plan
C6.2	03/21/16	Paving Details
C6.3	10/25/16	Paving Details
C7.3	11/04/16	Erosion Control - Phase 2
L1.02	10/25/16	Tree Removal & Protection Plan - Phase 2
L2.00	03/21/16	Hardscape Plan - Phase 1
L2.01	03/21/16	Dimensional Layout - Phase 1
L2.02	10/25/16	Hardscape & Site Amenity Plan Phase 2
L2.03	10/25/16	Dimensional Layout - Phase 2
L3.00	03/21/16	Landscape Plan - Phase 1
L3.02	10/25/16	Landscape Plan - Phase 2
L4.02	03/21/16	Site Details
L4.03	10/25/16	Site Details
L4.04	10/25/16	Site Details
L5.00	11/04/16	Police Parking Shade Structure
L5.01	11/04/16	South Lawn Pavilion
IR1.01	03/21/16	Irrigation Plan Phase 1
IR1.03	10/25/16	Irrigation Plan Phase 2
WF-1	10/25/16	Water Feature Overall Piping Plan
WF-2	10/25/16	Water Feature Plan/Elevation & Layout Plan
WF-3	10/25/16	Water Feature Supply/Drainage Piping
WF-4	10/25/16	Water Feature Mechanical Room Plan
WF-5	10/25/16	Water Feature Piping Schematic Diagram
WF-6	10/25/16	Water Feature Electrical Schematic Diagram
WF-7	10/25/16	Details
WF-8	10/25/16	Details
WF-9	10/25/16	Details
WF-10	10/25/16	Details
WF-11	10/25/16	Details
WF-12	10/25/16	Details
M101a	10/25/16	Mechanical Site Plan
M401	04/15/16	Mechanical Schedules
P101a	10/25/16	Plumbing Site Plan
P601	03/21/16	Plumbing Schedules
E101	03/21/16	Electrical Site Plan
E102	10/25/16	Electrical Site Plan - B
E501	04/15/16	Lighting Schedules

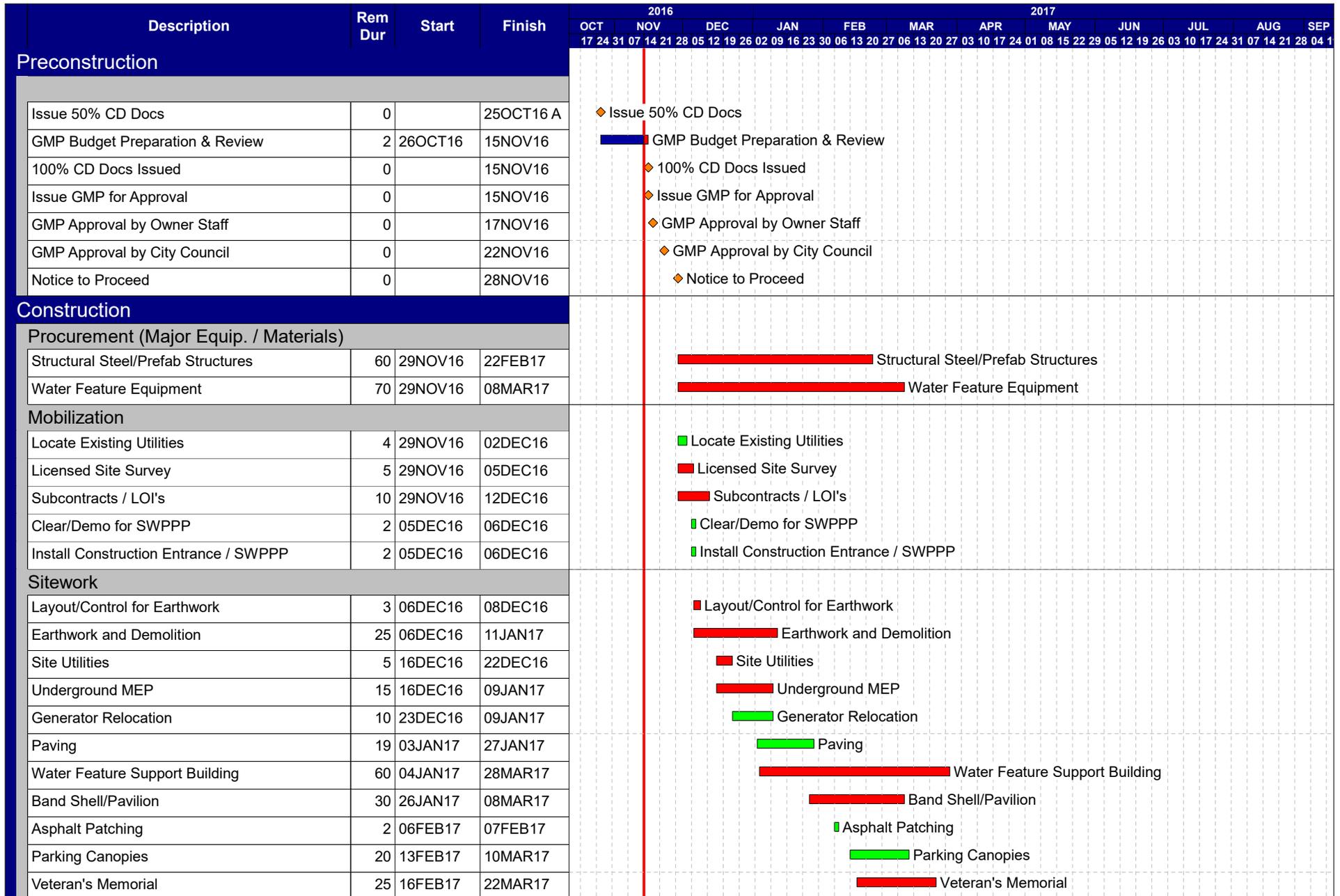
Contract Documents List

Richland Hills Activity Center - Phase 2
 Richland Hills, Texas
 50% CD Estimate

Date: 11/15/2016

Sheet	Original	Sheet Name
E502	03/21/16	Lighting Schedules
E702	10/25/16	Phase 2 Electrical Schedules and Diagrams
Addenda		

Phase II - 50% CD Estimate Schedule



- Early bar
- Progress bar
- Critical bar
- Summary bar
- ◆ Start milestone point
- ◆ Finish milestone point

The Link - Phase II
Construction Manager's Project Schedule - PR #01 (GMP)
Byrne Construction Services

Run date	14NOV16
Data date	14NOV16
Page number	1A
Page count	2A
Project name	RHAC PH2
Number/Version	GMP
© Primavera Systems, Inc.	

Phase II - 50% CD Estimate Allowances

Allowances contained within 50% CD Estimate include:

- 1) Plaza Fountain Spray Garden - \$195,424
- 2) Alternate 1 - Parking Canopies - \$174,240
- 3) Alternate 2 - Veteran's Memorial Monoliths - \$41,558
- 4) Alternate 3 - Pavilion/Band Shell - \$69,641
- 5) Temporary sidewalk for City Hall Access - \$1,080
- 6) Conduit/Raceway for Data to Water Feature Support Building - \$5,000
- 7) Water Feature Support Building Allowance - \$83,000



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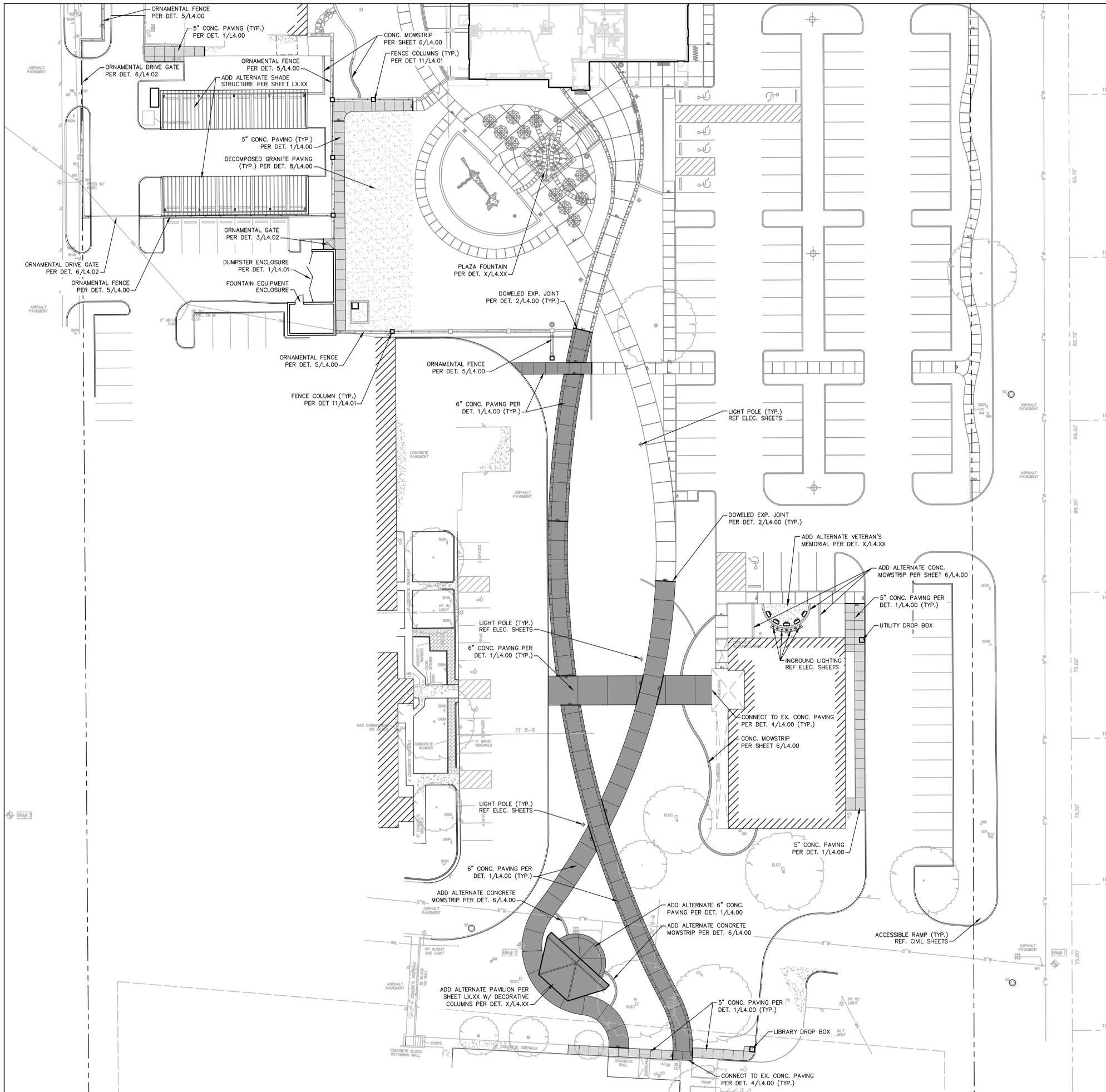


**RICHLAND HILLS
ACTIVITIES CENTER**
BAKER BLVD. & MATTHEWS DR.



Project Number: 2014.001.01
Issue: 100%CD FOR CONSTRUCTION
Date: 03-01-2016
Revisions:
No. Date:
PR #1 10.23.2016

Sheet title:
HARDSCAPE & SITE AMENITY PLAN PHASE 2
L2.02



CONSTRUCTION NOTES:

CONSTRUCTION LAYOUT AND GRADES
THE CONTRACTOR SHALL ENGAGE A LICENSED SURVEYOR TO LOCATE AND ESTABLISH THE BENCH MARK, BASE LINES, ITEMS TO BE CONSTRUCTED, AND FINISHED GRADES.

CONCRETE FORMWORK AND REINFORCEMENT
THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE A MINIMUM OF 48 HOURS PRIOR TO THE PLANNED PLACEMENT OF CONCRETE. THE OWNER'S REPRESENTATIVE MUST HAVE OBSERVED AND APPROVED THE FORMWORK AND REINFORCEMENT PRIOR TO ANY PLACEMENT OF CONCRETE.

CONCRETE FINISH AND SAW JOINTS
THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ON THE SITE SAMPLE PANELS OF PAVEMENT 4' X 4' IN SIZE FOR EACH FINISH OF CONCRETE'S PAVEMENT. THE SURFACE FINISHES SHALL BE AS APPROVED BY THE OWNER'S REPRESENTATIVE. ANY CONCRETE PLACED WITH AN IMPROPER FINISH SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE. ALL SAW JOINTS SHALL BE SAWN WITHIN 24 HOURS OF CONCRETE PLACEMENT. ANY CONCRETE SAWN LATER THAN THIS WHICH, IN THE OPINION OF THE OWNER'S REPRESENTATIVE, HAS EXCESSIVE SHRINKAGE CRACKS DUE TO NOT HAVING BEEN SAWN SOON ENOUGH, SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

ALIGNMENT AND TANGENCY OF PAVEMENTS
THE EDGES OF ALL FINISHED PAVING SHALL BE STRAIGHT OR SMOOTH CURVES (AS DELINEATED ON THE PLANS) WITH NO INTERRUPTIONS SUCH AS CHORDS, WAVES, JOGS, OR MISSED TANGENTS. PAVEMENTS WITH SUCH INTERRUPTIONS SHALL BE REMOVED.

CITY STANDARDS
ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF RICHLAND HILLS, TEXAS' CITY STANDARD SPECIFICATIONS, AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NORTH CENTRAL TEXAS, AS PREPARED BY N.T.C.O.G.

FIRE LANE AND FIRE HYDRANT
FIRE LANES SHALL BE PROPERLY MARKED WITH A 6 INCH RED STRIPE WITH 4 INCH WHITE LETTERS UPON THE VERTICAL SURFACE OF THE CURB ALONG THE ENTIRE LENGTH OF THE FIRE LANE.

DIMENSIONS
DIMENSIONS ARE TO BACKS OF CURBS, TO CENTERLINES OF FENCES, OR TO EDGES OF PAVEMENTS, UNLESS OTHERWISE INDICATED. WRITTEN AND NUMBERED DIMENSIONS HOLD PRECEDENCE OVER SCALED DIMENSIONS.

ADJUSTMENTS
IF THE CONTRACTOR BELIEVES IT IS NECESSARY TO MAKE AN ADJUSTMENT IN THE LAYOUT OR GRADE OF PROPOSED IMPROVEMENTS, SUCH AN ADJUSTMENT SHALL BE PROPOSED TO THE OWNER'S REPRESENTATIVE. NO ADJUSTMENT WILL BE PERMITTED UNTIL IT HAS FIRST BEEN APPROVED BY THE OWNER'S REPRESENTATIVE.

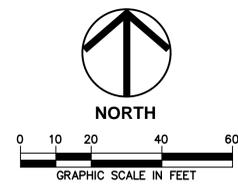
COORDINATE POINTS
THE SUCCESSFUL GENERAL CONTRACTOR SHALL BE PROVIDED A LIST OF COORDINATE POINTS REQUIRED TO LAYOUT THIS PROJECT. OBTAIN THE LIST FROM SCHRICKEL, ROLLINS AND ASSOC. INC.

TURFGRASS PLANTING
TURFGRASS SHALL BE PLANTED AND ESTABLISHED, AS SPECIFIED, OVER ANY AREAS DISTURBED BY CONSTRUCTION. THE GRASS LIMITS LINES SHOWN ARE NOT ABSOLUTE. TURFGRASS PLANTING SHALL TAKE PLACE BEYOND THE LIMITS IF THE AREA IS DISTURBED.

CONCRETE TRAIL/SIDEWALK LAYOUT
CENTERLINE OF THE TRAIL SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR FOLLOWING THE ALIGNMENT SHOWN IN THE CONSTRUCTION DOCUMENTS. APPROVAL OF THE CENTERLINE STAKING BY THE OWNER/LANDSCAPE ARCHITECT IS REQUIRED PRIOR TO BEGINNING FORMWORK.

LEGEND:

- | | |
|---|--|
| — SAWN CONTROL JOINT
PER DET. 1/L4.00 | COBBLE ROCK MULCH
PER DET. 2/L3.01 |
| — DOWELED EXP. JOINT
PER DET. 2/L4.00 | DECOMPOSED GRANITE
PER DET. 8/L4.00 |
| 6" CONCRETE PAVING
ON COMPACTED SUBGRADE
PER DET. 1/L4.00 | |
| 5" CONCRETE PAVING
ON COMPACTED SUBGRADE
PER DET. 1/L4.00 | |



EXISTING UTILITIES
CONTRACTOR MUST VERIFY LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH CITY OFFICIALS AND UTILITY COMPANIES IN LOCATING UTILITIES. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR LOSSES DUE TO DAMAGE TO UTILITIES. LOCATION FOR ALL UTILITIES SHOWN ON PLANS ARE APPROXIMATE. CONTRACTOR SHALL CALL DIG-TESS, 1-800-DIG-TESS.

 **AIA** Document G701™ – 2001

Change Order

PROJECT <i>(Name and address):</i> Richland Hills Activities Center Richland Hills, TX	CHANGE ORDER NUMBER: 007 DATE: November 16, 2016	OWNER: <input checked="" type="checkbox"/> ARCHITECT: <input checked="" type="checkbox"/> CONTRACTOR: <input checked="" type="checkbox"/> FIELD: <input type="checkbox"/> OWNER'S REP: <input checked="" type="checkbox"/>
TO CONTRACTOR <i>(Name and address):</i> Thos. S. Byrne, Inc. 2601 Scott Ave., Suite 300 Fort Worth, TX 76103	ARCHITECT'S PROJECT NUMBER: 2014.01.001 CONTRACT DATE: October 20, 2015 CONTRACT FOR: New Construction	

THE CONTRACT IS CHANGED AS FOLLOWS:

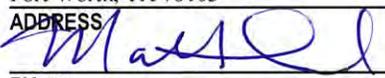
(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)
This Change Order amends the GMP to include Phase II of the Richland Hills Activities Center. Please reference attached Phase II - 50% CD Estimate documents dated November 16, 2016 for definition of scope, schedule, clarifications and qualifications.

The original Guaranteed Maximum Price was	\$ 10,903,040.00
The net change by previously authorized Change Orders	\$ 109,345.00
The Guaranteed Maximum Price prior to this Change Order was	\$ 11,012,385.00
The Guaranteed Maximum Price will be increased by this Change Order in the amount of	\$ 1,539,512.00
The new Guaranteed Maximum Price including this Change Order will be	\$ 12,551,897.00

The Contract Time will be increased by thirty-three (33) days.
The date of Substantial Completion as of the date of this Change Order therefore is June 15, 2017

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

<u>Barker Rinker Seacat Architecture, P.C.</u> ARCHITECT <i>(Firm name)</i>	<u>Thos. S. Byrne, Inc.</u> CONTRACTOR <i>(Firm name)</i>	<u>City of Richland Hills</u> OWNER <i>(Firm name)</i>
<u>3457 Ringsby Court, Unit 200</u> <u>Denver, CO 80216</u> ADDRESS	<u>2601 Scott Ave., Suite 300</u> <u>Fort Worth, TX 76103</u> ADDRESS 	<u>3200 Diana Dr.</u> <u>Richland Hills, TX 76118</u> ADDRESS
<u>BY</u> <i>(Signature)</i>	<u>BY</u> <i>(Signature)</i>	<u>BY</u> <i>(Signature)</i>
<u>Steve Blackburn, Principal</u> <i>(Typed name)</i>	<u>Matthew Avila, CEO</u> <i>(Typed name)</i>	<u>Eric Strong, City Manager</u> <i>(Typed name)</i>
<u>DATE</u>	<u>DATE</u>	<u>DATE</u>

Phase II

50% CD Estimate

See attached 50% CD Estimate submitted on 11/16/2016.

Phase II - 50% CD Estimate Estimated Cost of the Work



NINE DECADES OF EXCELLENCE
2601 Scott Avenue
Suite 300
Fort Worth, Texas 76103
Phone: (817) 335-3394
Fax: (817) 877-5507

Cost Estimate Summary Sheet

Richland Hills Activity Center - Phase 2
50% CD Estimate

Date: November 16, 2016

Site Area:

86,685

Bid Package #	Bid Package Description	SD ROM Cost	50% CD Cost	50% CD -vs- 100% DD	Cost/SF	Notes
0000	General Requirements	\$ 258,112	\$ 2.98	\$ 258,112	\$ 2.98	
3000	Concrete	\$ 310,664	\$ 3.58	\$ 228,607	\$ 2.64	
4000	Masonry	\$ 9,954	\$ 0.11	\$ -	\$ -	w/allowance below
5000	Structural Steel	\$ 750	\$ 0.01	\$ -	\$ -	w/allowance below
5722	Ornamental Iron	\$ 2,025	\$ 0.02	\$ -	\$ -	w/alternates
7152	Waterproofing	\$ 10,000	\$ 0.12	\$ 4,307	\$ 0.05	
7410	Metal Roofing	\$ 5,320	\$ 0.06	\$ -	\$ -	w/allowance below
9900	Painting	\$ 4,988	\$ 0.06	\$ -	\$ -	w/allowance below
11650	Spray Garden	\$ 195,424	\$ 2.25	\$ 195,424	\$ 2.25	
13300	Special Structures	\$ 26,600	\$ 0.31	\$ -	\$ -	w/alternates
22000	Plumbing & Gas	\$ 7,648	\$ 0.09	\$ 14,789	\$ 0.17	
26000	Electrical	\$ 111,200	\$ 1.28	\$ 288,922	\$ 3.33	
27000	Communications	\$ -	\$ -	\$ 2,087	\$ 0.02	
31000	Earthwork	\$ 324,482	\$ 3.74	\$ 61,420	\$ 0.71	
32172	Pavement Markings	\$ 5,887	\$ 0.07	\$ 5,800	\$ 0.07	
32300	Site Improvements	\$ 7,000	\$ 0.08	\$ 8,500	\$ 0.10	
33100	Site Utilities	\$ -	\$ -	\$ 73,226	\$ 0.84	
32900	Planting and Irrigation	\$ 33,014	\$ 0.38	\$ 113,932	\$ 1.31	
	Water Feature Support Building Allowance	\$ -	\$ -	\$ 83,000	\$ 0.96	
	Cost of Work Subtotal	\$ 1,313,068		\$ 1,338,126	\$ 15.44	
	Contractor's Contingency 10.00%	\$ 131,307	10.00%	\$ 133,813	\$ 1.54	
	Building Permit Excluded			Excluded		
	Construction Costs Subtotal	\$ 1,444,375		\$ 1,471,939	\$ 16.98	
	CGL & Umbrella Insurance 0.69%	\$ 10,490	0.69%	\$ 10,623	\$ 0.12	
	Professional Liability 0.15%	\$ 2,280	0.15%	\$ 2,309	\$ 0.03	
	Builder's Risk 0.09%	\$ 1,368	0.09%	\$ 1,386	\$ 0.02	
	Payment & Performance Bond 0.83%	\$ 12,618	0.83%	\$ 12,778	\$ 0.15	
	Construction Costs & Insurance Subtotal	\$ 1,471,131		\$ 1,499,034	\$ 17.29	
	Preconstruction Fee	\$ 9,390		\$ -	\$ -	in CO #05
	Fee 2.75%	\$ 39,720	2.75%	\$ 40,478	\$ 0.47	
	GMP TOTAL (without alternates below)	\$ 1,520,241		\$ 1,539,512	\$ 17.76	
	Acceptance of Alternate 1 - Parking Canopies	\$ -		\$ 174,240	\$ 2.01	
	Insurances, Bonds and Fee on above	\$ -		\$ 7,999	\$ 0.09	
	Project SubTotal (w above accepted)			\$ 1,721,751	\$ 19.86	
	Acceptance of Alternate 2 - Veteran's Memorial Monoliths	\$ -		\$ 41,558	\$ 0.48	
	Insurances, Bonds and Fee on above	\$ -		\$ 1,908	\$ 0.02	
	Project SubTotal (w above accepted)			\$ 1,765,217	\$ 20.36	
	Acceptance of Alternate 3 - Pavilion/Band Shell	\$ -		\$ 69,641	\$ 0.80	
	Insurances, Bonds and Fee on above	\$ -		\$ 3,197	\$ 0.04	
	Project SubTotal (w above accepted)			\$ 1,838,055	\$ 21.20	
	Acceptance of Alternate 4 - Fencing at Police Parking	\$ -		\$ 110,615	\$ 1.28	
	Insurances, Bonds and Fee on above	\$ -		\$ 5,078	\$ 0.06	
	TOTAL (w above accepted alternates)			\$ 1,953,748	\$ 22.54	

BP-033000 Turnkey Concrete				Cheyenne Construction Co.		
RHAC - Phase II Richland Hills, TX				(817) 741-5177		
BID DATE: 11/15/2016		TSB QTY	TSB PLUG			
BASE BID				\$198,409		
PER PLANS & SPECS				Yes		
ADDENDA N/A				0		
BOND RATE				2.25%		
Wage Rates?				Yes		
Provide Bid Package?				N/A		
Attended Pre-Bid Meeting?				N/A		
Provided Budgeting Pricing?				N/A		
See attached Subcontractor Proposal.						
Flag Pole Bases		3 each	\$750	\$2,250		
Asphalt Patching		100 sqft		\$3,500		
Mow Strips		150 Inft	\$26	\$3,900		
Concrete Steps at SE City Hall		25 sqft	\$8	\$188		
Generator Pad		1 each	\$3,250	\$3,250		
Light Pole Bases - large		8 each	\$750	\$6,000		
Light Pole Bases - small		10 each	\$500	\$5,000		
Temporary Sidewalk for City Hall Access		27 Inft	\$40	\$1,080		
SALES TAX EXCLUDED? ("Included" or "Excluded")				excluded	excluded	excluded
ADJUSTMENTS				\$25,168		
TOTAL WITHOUT BOND				\$223,577		
BOND PREMIUM				\$5,030		
TOTAL				\$228,607		
Parking Canopy Alternate		80 Inft	\$100	\$8,000		
Band Shell Alternate		6 each	\$1,500	\$9,000		
Veteran's Memorial Alternate		36 Inft	\$125	\$4,500		



CHANGE ORDER REQUEST

PROJECT NAME: RICHLAND HILLS
 PROJECT NO: 16025
 GENERAL CONTRACTOR: BYRNE CONSTRUCTION
 ATTENTION: BRIAN WOLF

C.O.R. NO.: 006
 DATE: 11/14/16
 REFERENCE: PHASE #2 PR#1 PR#1-R

DESCRIPTION OF CHANGE: PRICE TO FURNISH ALL LABOR MATERIAL AND EQUIPMENT FOR THE
CHANGES ASSOCIATED WITH PHASE #2 PR-1 AND PR-1-R

SEE ATTACHED TAKEOFF SHEETS

Additive Costs

Labor	\$84,938.00
Material	\$78,118.50
Equipment	\$13,700.00

Subtotal of Additive Cost \$176,756.50

Deductive Costs

Labor	
Material	
Equipment	

Subtotal of Deductive Cost \$0.00

Total Direct Cost \$176,756.50

Mark-up 10% \$17,675.65

P&P Bond 2.25% \$3,977.02

Total Subcontractor Change Request \$198,409.00

Paul Wolf 11-14-2016



1212 E Lancaster Ave Fl. 3
Fort Worth, TX 76012
Phone: 817-741-5177
Fax: 817-741-5178
www.cheyenneconstco.com

**RICHLAND HILLS ACTIVITY CENTER
BAKER BLVD. & MATTHEWS DR.**

November 14, 2016

Cheyenne Construction Company proposes to furnish labor, material, equipment, and insurance necessary to complete all concrete construction in accordance with the plans and specifications as per the following:

**Plan Sheets: PHASE #2 PR-1 / PR-1-R
Specifications:**

Addendum acknowledgement:

Work scope Inclusions:

6" PAVING 18,661 SF.	7" FIERLANE 5,450 SF.	8" DUMPSTER PAD 1,141 SF.
6" DRIVE APPROACH 785 SF.	6" MONO CURB 1,836 LF.	CURB AND GUTTER 400 LF.
5" SIDEWALKS 750 SF.	BOMANITE SIDEWALKS 725 SF.	DEMO OF CURB AND GUTTER 1,750 SF
3 BOMANITE MOCK-UPS		

Total Proposed Estimate: \$198,409.00

Special Notes:

- This quote is valid for 30 days.
- Proposal is based on a 5% Retainage – or – 10% Retainage with 5% being released upon "substantial completion" of this scope of work.
- Proposal is based on a standard 50 hour work week
- Cheyenne has included a maximum of 1 mobilizations not to exceed more than 1 week of downtime in between. Each additional mobilization will require a fee of \$3,500.00 - \$7,500.00 depending on job location.
- General Contractor to provide all building corners, benchmark control elevations, & lines and grades for paving.
- See Exhibit "W" attached herein for warranty information.

Exclusions:

- See Exhibit "E" for list of general exclusions from our scope of work.

Thank you for your time and consideration on this project. The team here at Cheyenne looks forward to doing business with you. Please feel free to contact us with any questions regarding this proposal.

Brock Mangus Project Manager Date

11/14/2016



Exhibit "E"

Exclusions from Contract

1. Payment and Performance Bond and/or Maintenance Bond.
2. Earth work, except for structural excavation (from top of footing/grade beam down) on our proposed scope of work.
3. **Rock Excavation of any kind is excluded from all aspects of this project.**
4. Termite Control or soil treatment.
5. Barricades, flagman, and traffic control devices to include a traffic control plan.
6. Trench Safety Plans and devices are to be provided by the GC if needed.
7. Mass grading, General Contractor to provide Subgrade at +/- 1/10th foot.
8. All subgrades beneath concrete scope, i.e., lime stabilization, flex base, etc.
9. Erosion Control.
10. Permits, Licensing, or any other associated Fees.
11. Testing of materials and subgrades.
12. Pavement Markings, stripping, signage/signage foundations, wheel stops, or cleaning of parking areas.
13. We assume curing the building slab with one coat of Liquid Curing Compound. We exclude all other curing methods as well as and work related to floor hardeners or sealers.
14. Stripping of curing compounds.
15. Sleeves or conduits of any type. To include irrigation sleeves under flatwork.
16. Masonry rebar, concrete filling of cells or bond beams.
17. The use of metal chairs.
18. Supply of Embeds, Anchor bolts and Pipe Bollards.
19. Joint Sealants, removal of top strip/cleaning, and sealing of concrete.
20. Trench drains or other foundation drains.
21. Concrete piers for fencing and guardrails.
22. Panel & Structural Steel Erection.
23. Engineering other than lift and brace inserts.
24. **Providing Jointing Plans for Paving, Slabs or Sidewalks. This is to be provided by Engineer/Architect or GC.**
25. Casting Beds. Panels are assumed to be cast on slab. These can be provided at \$2.50 per SF.
26. House Keeping Pads.
27. Utility Concrete of any type.
28. Offsite Spoil Removal to include concrete washout waste and dirt spoils.
29. Supply of Dumpsters. GC is to provide dumpster for waste material, trash and concrete washout spoils.
30. Backfilling of paving curbs, islands and sidewalks. We provide structural backfilling only, and we assume dirt excavated can be used for backfill. We exclude any other backfill materials.
31. Handling & Dispensing of Hazardous materials.
32. Temperature Control Admixtures (Retarders, Ice, Accelerators, etc.).
33. CMU Reinforcing. Except Masonry Dowels to be cast in our scope of work.
34. Use of Laser Screed.
35. Asphalt Paving/Patching.
36. Sand or water blasting.
37. All waterproofing or insulation.
38. Repair of unknown/unmarked underground utilities damaged during our work.
39. Precast concrete.
40. **Casing of piers unless otherwise noted.**
41. Water truck/trailer. GC to provide water to the site.
42. Protection of floors after our work is complete.
43. **Subsurface utility line exploration/protection/support and or relocation.**
44. **Limited access pier drilling defined as any piers within 3 feet of any existing structures and/or any piers with less than 25' overhead clearance.**

General Contractor, LLC

Cheyenne Construction Co.

By: _____

By: _____

Date: _____

Date: 11/14/2016



Exhibit "W"

Cheyenne Construction Co. Warranty

Please allow this letter to memorialize Cheyenne Construction Company's warranty for its work on the above mentioned project. In this regard, Cheyenne hereby warrants that its materials and workmanship provided to the Project will be free from any defects for the period of one year starting from "**Date of Substantial Completion**". In the event a defect within Cheyenne's scope of work at the Project is discovered during the warranty period, then Cheyenne agrees to repair or replace the defect, subject to the limitations described below.

This warranty is expressly conditioned upon the receipt of full payment by Cheyenne for its work at the Project. This warranty does not extend to and Cheyenne shall not be under any responsibility or liability whatsoever to make repairs for items caused in whole or in part by windstorms, tornado, lightning, hail, or other Act of God; or caused by the negligence or intentional act by a party not directly associated with Cheyenne; or caused by a modification or repair, attempted or completed, by a party not directly associated with Cheyenne or under its control; or caused by ordinary wear and tear; or caused by a failure in the substrate below the concrete; or results from an improper design. This warranty shall be voidable at Cheyenne's option if any party other than Cheyenne performs or attempts to perform any repairs to Cheyenne's scope of work at the Project.

Cheyenne shall not be liable for any incidental or consequential damages resulting from any defect covered by this warranty, and in no event shall Cheyenne's liability to the Project owner exceed the cost of correcting or replacing the defective work.

In the event an item is discovered that may be covered by this warranty, the Project owner shall within thirty days of discovery, provide written notice of the defect, detailing the exact nature of the warranty claim. The claim shall be mailed or delivered to Cheyenne at the address below by certified mail, return receipt requested. Failure to provide such written notice shall make this warranty voidable at Cheyenne's option.

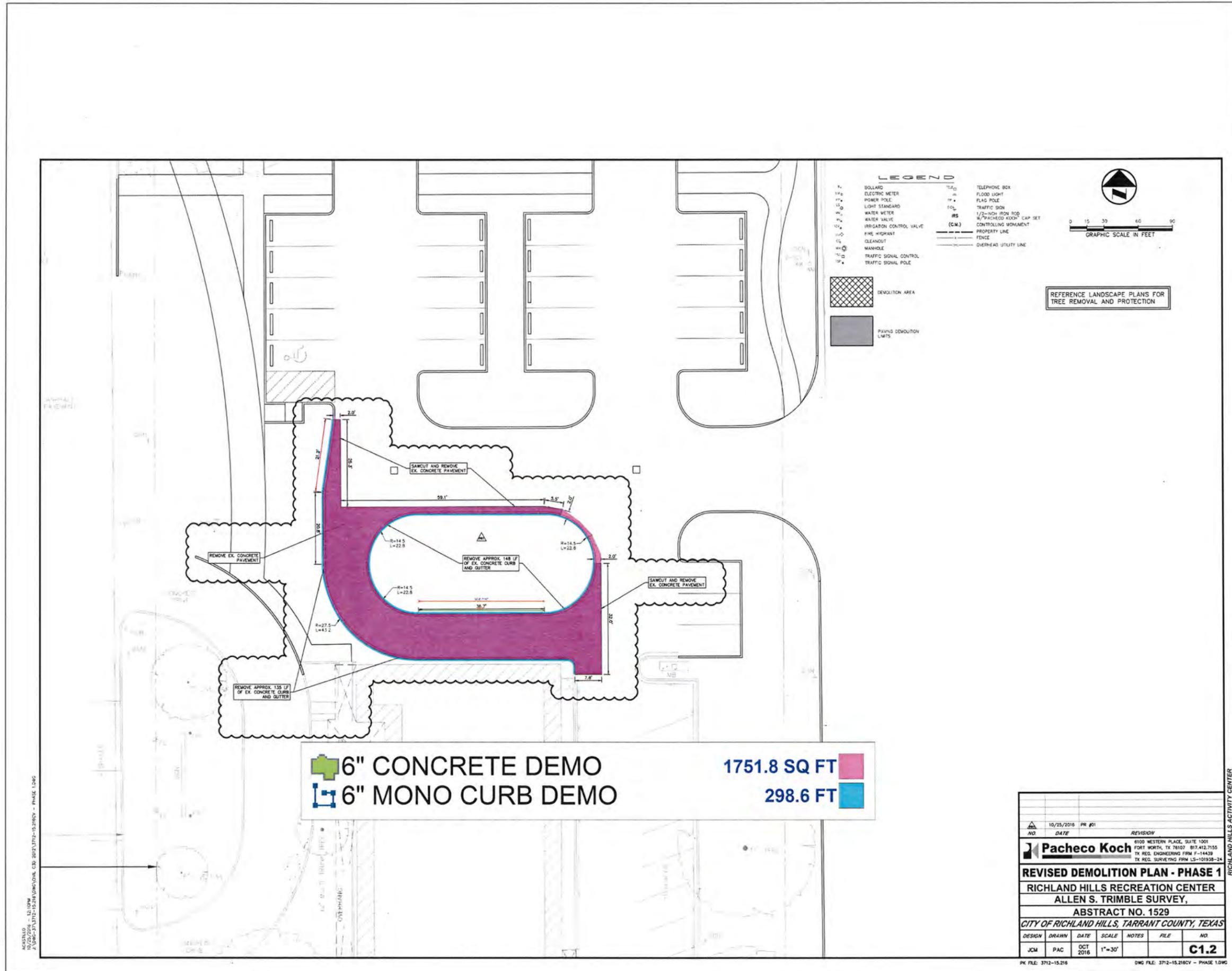
This warranty is non- transferrable. Any obligation set forth in this warranty terminates if the Project is sold or shall cease to be occupied by the owner to whom it is originally issued. There are no warranties that extend beyond the one year time period set forth above. This warranty constitutes the sole and exclusive remedy available to the Project owner for any loss, cost, expense, liability or damage, whether direct or indirect, resulting from or contributed to by the default or negligence of Cheyenne.

Sincerely,
Cheyenne Construction Company
1212 East Lancaster Ave, 3rd Floor
Fort Worth, TX 76102



**BARKER
RINKER
SEACAT**
ARCHITECTURE

brsarch.com



**RICHLAND HILLS
ACTIVITIES CENTER**
BAKER BLVD. & MATTHEWS DR.



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JACE C. MOTHERAL, P.E. 118787 ON 10/25/2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

Project: 2014.001.01
 Number: 100%CD-FOR CONSTRUCTION
 Issue:
 Date: 03-01-2016

Revisions:
 No. 1
 Date: 03.21.2016
 PR #01
 Date: 10.25.2016

NO.	DATE	PR. #01	REVISION
Pacheco Koch 8100 WESTERN PLACE, SUITE 1001 FORT WORTH, TX 76107 817.412.7155 TX REG. ENGINEERING FIRM F-14439 TX REG. SURVEYING FIRM LS-101938-24			
REVISED DEMOLITION PLAN - PHASE 1			
RICHLAND HILLS RECREATION CENTER			
ALLEN S. TRIMBLE SURVEY,			
ABSTRACT NO. 1529			
CITY OF RICHLAND HILLS, TARRANT COUNTY, TEXAS			
DESIGN	JCM	DRAWN	PAC
DATE	OCT 2016	SCALE	1"=30'
NOTES		FILE	
NO.			C1.2

Sheet
 Site: REVISED DEMOLITION PLAN - PHASE 1
C1.2



**BARKER
RINKER
SEACAT**
ARCHITECTURE

brsarch.com

**RICHLAND HILLS
ACTIVITIES CENTER**
BAKER BLVD. & MATTHEWS DR.



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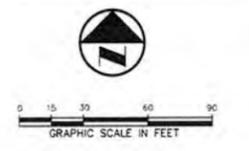
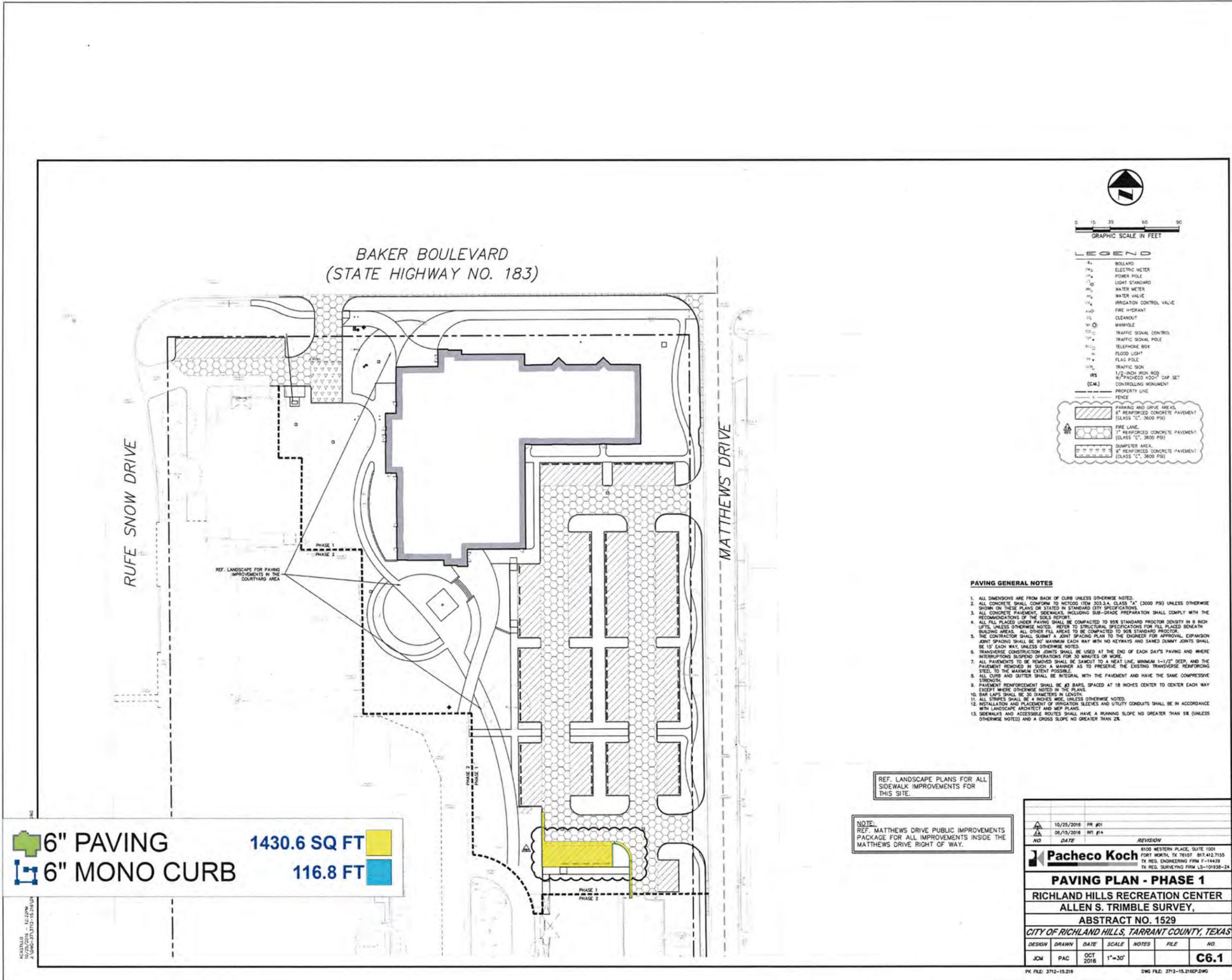
Project: 2014.001.01
Number: 100%CD-FOR CONSTRUCTION
Issue: 03-01-2016
Date:

Revisions:
NO. #1 DATE 08.15.2016
REV #1 10.25.2016

Sheet: PAVING PLAN - PHASE 1
Site: 1

C6.1

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LEGEND

⊙	BOLLARD
⊕	ELECTRIC METER
⊖	POWER POLE
⊙	LIGHT STANDARD
⊕	WATER METER
⊖	WATER VALVE
⊕	IRRIGATION CONTROL VALVE
⊖	CLEANOUT
⊕	MANHOLE
⊖	TRAFFIC SIGNAL CONTROL
⊕	TRAFFIC SIGNAL POLE
⊖	TELEPHONE BOX
⊕	FLOOD LIGHT
⊖	FLAG POLE
⊕	TRAFFIC SIGN
⊖	1/2-INCH IRON ROD W/ "PATCHED" 300" CAP SET
(C.M.)	CONTROLLING MONUMENT
- - -	PROPERTY LINE
- - -	FENCE
[Hatched]	PARKING AND DRIVE AREAS, 8" REINFORCED CONCRETE PAVEMENT (CLASS "C", 3600 PSI)
[Dotted]	FIRE LANE, 7" REINFORCED CONCRETE PAVEMENT (CLASS "C", 3600 PSI)
[Cross-hatched]	DAMPSTER AREA, 8" REINFORCED CONCRETE PAVEMENT (CLASS "C", 3600 PSI)

- PAVING GENERAL NOTES**
1. ALL DIMENSIONS ARE FROM BACK OF CURB UNLESS OTHERWISE NOTED.
 2. ALL CONCRETE SHALL CONFORM TO NCTCOG ITEM 203.3.4, CLASS "A" (3000 PSI) UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED BY STANDARD CITY SPECIFICATIONS.
 3. ALL CONCRETE PAVEMENT, SIDEWALKS, INCLUDING SUB-GRADE PREPARATION SHALL COMPLY WITH THE RECOMMENDATIONS OF THE SOILS REPORT.
 4. ALL FILL PLACED UNDER PAVING SHALL BE COMPACTED TO 98% STANDARD PROCTOR DENSITY IN 8 INCH LIFTS, UNLESS OTHERWISE NOTED. REFER TO STRUCTURAL SPECIFICATIONS FOR FILL PLACED BENEATH BUILDING AREAS. ALL OTHER FILL AREAS TO BE COMPACTED TO 90% STANDARD PROCTOR.
 5. THE CONTRACTOR SHALL SUBMIT A JOINT SPACING PLAN TO THE ENGINEER FOR APPROVAL. EXPANSION JOINT SPACING SHALL BE 30' MAXIMUM EACH WAY WITH NO KEYWAYS AND SAVED CURB JOINTS SHALL BE 15' EACH WAY, UNLESS OTHERWISE NOTED.
 6. TRANSVERSE CONSTRUCTION JOINTS SHALL BE USED AT THE END OF EACH DAY'S PAVING AND WHERE INTERRUPTIONS SUSPEND OPERATIONS FOR 30 MINUTES OR MORE.
 7. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT TO A NEAT LINE, MINIMUM 1-1/2" DEEP, AND THE PAVEMENT REMOVED IN SUCH A MANNER AS TO PRESERVE THE EXISTING TRANSVERSE REINFORCING STEEL TO THE MAXIMUM EXTENT POSSIBLE.
 8. ALL CURB AND GUTTER SHALL BE INTEGRAL WITH THE PAVEMENT AND HAVE THE SAME COMPRESSIVE STRENGTH.
 9. PAVEMENT REINFORCEMENT SHALL BE #3 BARS, SPACED AT 18 INCHES CENTER TO CENTER EACH WAY EXCEPT WHERE OTHERWISE NOTED IN THE PLANS.
 10. BARS LAPS SHALL BE 30 DIAMETERS IN LENGTH.
 11. ALL STRIPS SHALL BE 4 INCHES WIDE, UNLESS OTHERWISE NOTED.
 12. INSTALLATION AND PLACEMENT OF IRRIGATION SLEEVES AND UTILITY CONDUITS SHALL BE IN ACCORDANCE WITH LANDSCAPE ARCHITECT AND MEP PLANS.
 13. SIDEWALKS AND ACCESSIBLE ROUTES SHALL HAVE A MINIMUM SLOPE NO GREATER THAN 5% (UNLESS OTHERWISE NOTED) AND A CROSS SLOPE NO GREATER THAN 2%.

REF. LANDSCAPE PLANS FOR ALL SIDEWALK IMPROVEMENTS FOR THIS SITE.

NOTE: REF. MATTHEWS DRIVE PUBLIC IMPROVEMENTS PACKAGE FOR ALL IMPROVEMENTS INSIDE THE MATTHEWS DRIVE RIGHT OF WAY.

	6" PAVING	1430.6 SQ FT
	6" MONO CURB	116.8 FT

NO.	DATE	REVISION
10/25/2016	PR #01	
08/15/2016	PR #1*	

Pacheco Koch
8100 WESTERN PLACE, SUITE 1001
FORT WORTH, TX 76107 817.412.7155
TX REG. ENGINEERING FIRM F-14439
TX REG. SURVEYING FIRM LS-101935-24

PAVING PLAN - PHASE 1
RICHLAND HILLS RECREATION CENTER
ALLEN S. TRIMBLE SURVEY,
ABSTRACT NO. 1529
CITY OF RICHLAND HILLS, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JCM	PAC	OCT 2016	1"=30'			C6.1

PK FILE: 3712-15.216
DWG FILE: 3712-15.216P.DWG



**BARKER
RINKER
SEACAT**
ARCHITECTURE

brsarch.com

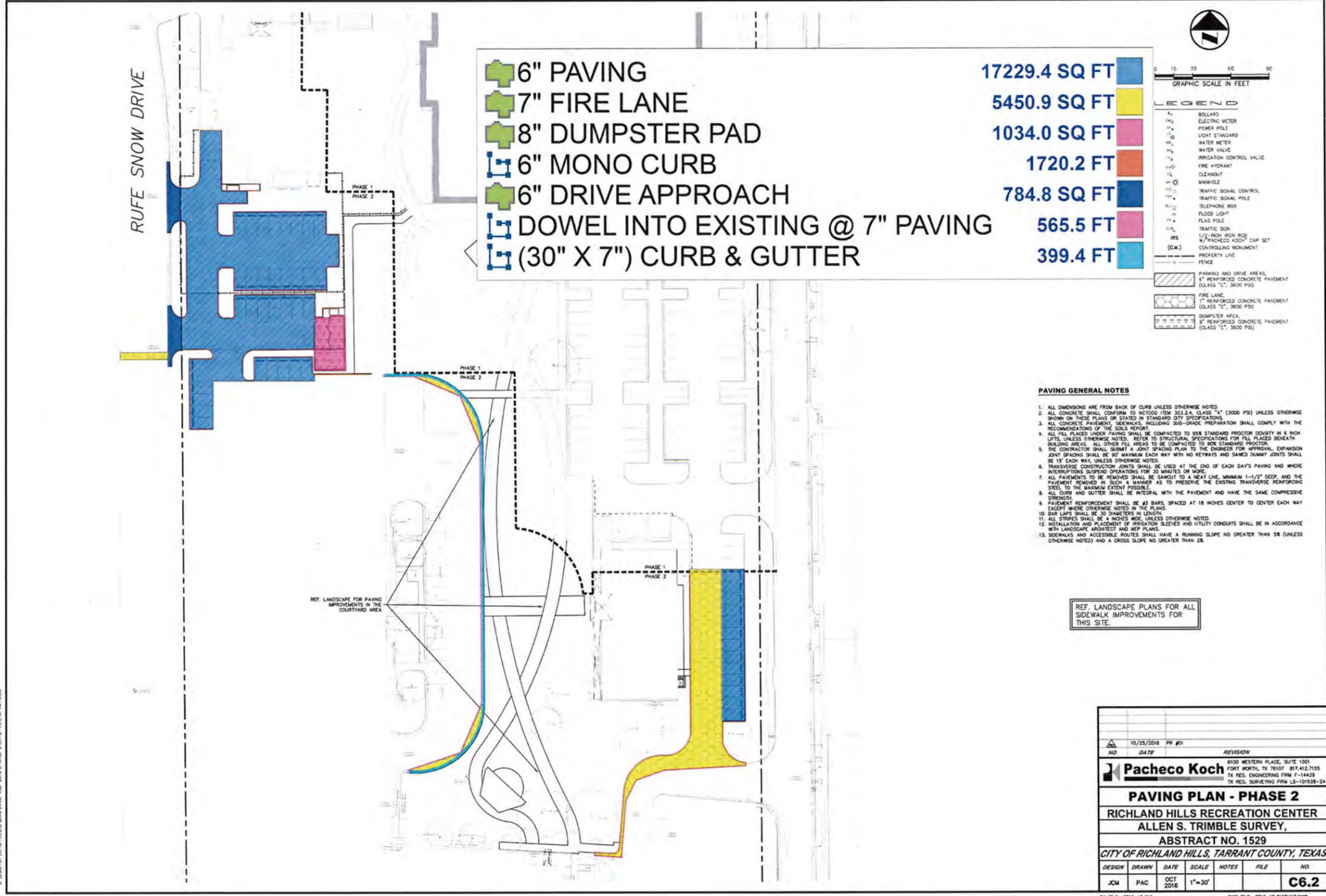
**RICHLAND HILLS
ACTIVITIES CENTER**
BAKER BLVD. & MATTHEWS DR.



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JACE C. MOTHERAL, P.E. 118787 ON 10/23/2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

Project: 2014.001.01
Number: 100%CD-FOR CONSTRUCTION
Date: 03-01-2016

Revisions:
No. Date
PR #01 10.25.2016



- 6" PAVING
- 7" FIRE LANE
- 8" DUMPSTER PAD
- 6" MONO CURB
- 6" DRIVE APPROACH
- DOWEL INTO EXISTING @ 7" PAVING
- (30" X 7") CURB & GUTTER

- 17229.4 SQ FT
- 5450.9 SQ FT
- 1034.0 SQ FT
- 1720.2 FT
- 784.8 SQ FT
- 565.5 FT
- 399.4 FT

GRAPHIC SCALE IN FEET
0 15 30 60 90

LEGEND

- BOLLARD
- ELECTRIC METER
- POWER POLE
- LIGHT STANDARD
- WATER METER
- WATER VALVE
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT
- CLEANOUT
- MANHOLE
- TRAFFIC SIGNAL CONTROL
- TRAFFIC SIGNAL POLE
- TELEPHONE BOX
- FLOOD LIGHT
- FLAG POLE
- TRAFFIC SIGN
- 1/2-INCH IRON ROD
- W/PACHED "KOD" CAP SET (C.M.)
- CONTROLLING MONUMENT
- PROPERTY LINE
- FENCE
- PARKING AND DRIVE AREAS, 6" REINFORCED CONCRETE PAVEMENT (CLASS "C", 3600 PSI)
- FIRE LANE, 7" REINFORCED CONCRETE PAVEMENT (CLASS "C", 3600 PSI)
- DUMPSTER AREA, 8" REINFORCED CONCRETE PAVEMENT (CLASS "C", 3600 PSI)

PAVING GENERAL NOTES

1. ALL DIMENSIONS ARE FROM BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL CONCRETE SHALL CONFORM TO MICHGON ITEM 303.3.4, CLASS "A" (3000 PSI) UNLESS OTHERWISE NOTED.
3. ALL CONCRETE PAVEMENT, SIDEWALKS, INCLUDING SUB-GRADE PREPARATION SHALL COMPLY WITH THE RECOMMENDATIONS OF THE SOILS REPORT.
4. ALL FILL PLACED UNDER PAVING SHALL BE COMPACTED TO 98% STANDARD PROCTOR DENSITY IN 8 INCH LIFTS, UNLESS OTHERWISE NOTED. REFER TO STRUCTURAL SPECIFICATIONS FOR FILL PLACED BENEATH BUILDING AREAS. ALL OTHER FILL AREAS TO BE COMPACTED TO 90% STANDARD PROCTOR.
5. THE CONTRACTOR SHALL SUBMIT A JOINT SPACING PLAN TO THE ENGINEER FOR APPROVAL. EXPANSION JOINT SPACING SHALL BE 90' MAXIMUM EACH WAY WITH NO KEYWAYS AND SAWED DUMMY JOINTS SHALL BE 15' EACH WAY, UNLESS OTHERWISE NOTED.
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10. BAR LAPS SHALL BE 30 DIAMETERS IN LENGTH.
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12. INSTALLATION AND PLACEMENT OF IRRIGATION SLEEVES AND UTILITY CONDUITS SHALL BE IN ACCORDANCE WITH LANDSCAPE ARCHITECT AND MEP PLANS.
13. SIDEWALKS AND ACCESSIBLE ROUTES SHALL HAVE A RUNNING SLOPE NO GREATER THAN 5% (UNLESS OTHERWISE NOTED) AND A CROSS SLOPE NO GREATER THAN 2%.

REF. LANDSCAPE PLANS FOR ALL SIDEWALK IMPROVEMENTS FOR THIS SITE.

NO.	DATE	REVISION
1	10/25/2016	PR #01

Pacheco Koch
8100 WESTERN PLACE, SUITE 1001
FORT WORTH, TX 76107 817.412.7155
TX REG. ENGINEERING FIRM F-14439
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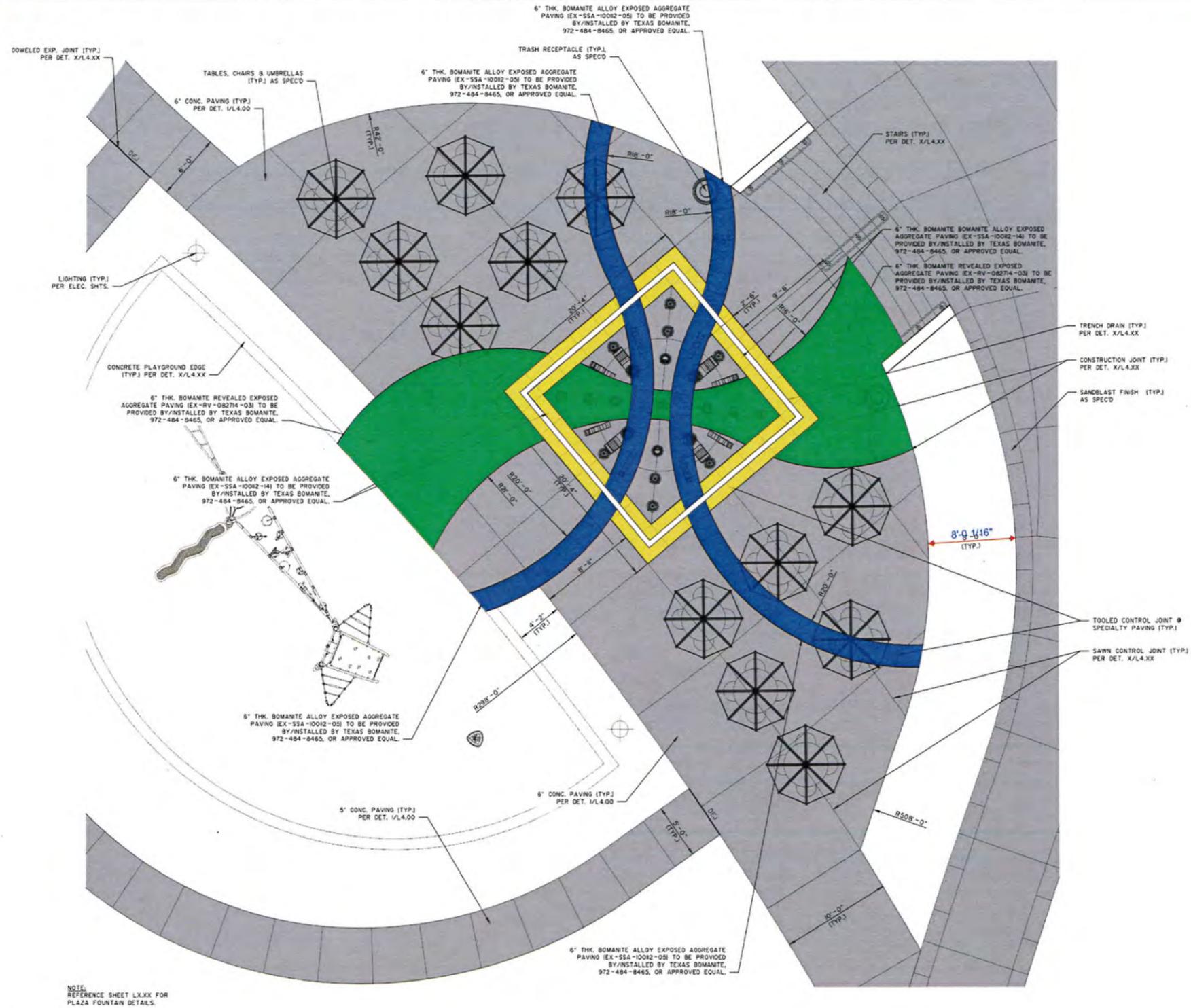
PAVING PLAN - PHASE 2
RICHLAND HILLS RECREATION CENTER
ALLEN S. TRIMBLE SURVEY,
ABSTRACT NO. 1529
CITY OF RICHLAND HILLS, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JCM	PAC	OCT 2016	1"=30'			C6.2

PK FILE: 3712-15.216 DWG FILE: 3712-15.216PA1.DWG

-  6" BOMANITE REVEALED EXPOSED AGG PAVING (EX-RV-082714-03)
-  6" BOMANITE ALLOY EXPOSED AGG PAVING (EX-SSA-100112-14)
-  6" BOMANITE ALLOY EXPOSED AGG PAVING (EX-SSA-100112-05)

390.0 SQ FT 
 125.3 SQ FT 
 210.2 SQ FT 



NOTE:
REFERENCE SHEET L4.03 FOR
PLAZA FOUNTAIN DETAILS.

1 FOUNTAIN PLAZA @ THE LINK
SCALE: 1/4" = 1'-0"



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**RICHLAND HILLS
ACTIVITIES CENTER**
BAKER BLVD. & MATTHEWS DR.



Project Number:	2014 001 01
Issue:	85% CD FOR PRICING REQUEST
Date:	10-25-2016
Revisions:	
No.	Date



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November 22, 2016
1612 W Pittshire Court
Keller, Texas 76262
Ph. 972. 360. 9888
Fx. 972. 360. 9889

October 28, 2016

Via: Email

SUBJECT: WATERPROOFING PROPOSAL
PROJECT: Richland Hills Activity Center
Bid Package BP-7100 Dampproofing & Waterproofing

Mr. Brian Wolf:

We are pleased to submit our proposal for the following scope of work on the above referenced project based on PR01 plans dated October 25, 2016.

321370 CAULKING AND SEALANTS

Inclusions: Install closed cell backer rod and Pecora NR-201 self-leveling polyurethane sealant at:

- Added site concrete paving expansion joints (at 90' on center) and saw cut control joints (at 15' on center) per plans and;
- Added concrete sidewalk to sidewalk building expansion joints.
- Colors are to be selected from the manufacturer's standard color chart.
- **Removal of plastic/redwood expansion joint fillers only are included.**
- **Phase 1: No cost impact**
- **Phase 2: Material \$2,450.00 Labor \$1,396.00 OH/P ~~\$679.00~~ **\$384.60****
- **PP Bond costs: \$ 55.00**

Exclusions: Custom colors and all other work not specified above.

Base Bid Total \$ ~~4,580.00~~ \$4,230.60

All materials are furnished and installed.
Sales tax is excluded.
We acknowledge prevailing wage scale.
Proposal is valid for 60 days unless otherwise noted.

We would like to thank you for considering CHM Weatherguard. If you have any questions regarding this proposal or need additional clarification please contact me at 972-360-9888.

Regards,

David McDole
Director of Sales



November 8, 2016

Byrne Construction Services
2601 Scott Ave., Suite 300
Fort Worth, Texas 76103
Attn.: Brian Wolf

Re: Richland Hills Activity Center
SkiHi PCO#8

Dear: Brian

Attached is **SkiHi Proposed Change No. 8**. This pricing is for the changes per PR#01 which include adding a pump room with an added unit heater, exhaust fan, and plumbing piping with drains, hose bibb, and a wall hydrant.

The cost for this change is **Fourteen Thousand Five Hundred Eighty Five Dollars. \$14,585.00**

Should this change be accepted, please forward a change order to our contract for the above amount.

If you have any questions, please call.

Sincerely,
SkiHi Enterprises, Ltd.

A handwritten signature in blue ink that reads "John McCoy".

John McCoy
Project Manager

Cc: C520-Change Order

CHANGE ORDER PROPOSAL

SUBMIT TO: Byrne Construction
JOB NAME: Richland Hills Activity Center

PROPOSED BY: SKIHI ENTERPRISES, INC.

DATE: 11/8/2016

JOB NO.: C-520

WORK DESCRIPTION:
Changes per PR#01.

PROPOSED CHANGE NO.: 8

REF:

DESCRIPTION		AMOUNT	
MATERIALS, FIXTURES & EQUIPMENT:			
1.	Pipe, Valves, Fittings, Hangers		\$2,386
2.	Fixtures, RPZ		\$1,030
3.	Exhaust Fan		\$517
4.	Unit Heater		\$1,724
5.	EF Thermostat & Wiring		\$125
6.			\$0
	Materials and/ or Equipment	SUB-TOTAL	\$5,782
	Sales and/ or Use Tax	0.00	\$0
TOTAL MATERIALS, FIXTURES AND EQUIPMENT			\$5,782
LABOR:			
1.	Plumbing	117.0 MH@ 27. \$/ HR	\$3,159
2.	Foreman	0.0 MH@ 30. \$/ HR	\$0
3.	Helper	0.0 MH@ 17. \$/ HR	\$0
4.		0.0 MH@ . \$/ HR	\$0
5.	Sheetmetal	0.0 MH@ 27. \$/ HR	\$0
6.	Foreman	0.0 MH@ 30. \$/ HR	\$0
7.	Helper	0.0 MH@ 16 \$/ HR	\$0
8.		0.0 MH@ 0 \$/ HR	\$0
9.	EQUIP OPERATOR	0.0 MH@ 27. \$/ HR	\$0
10.	LABORER	0.0 MH@ 15. \$/ HR	\$0
11.		0.0 MH@ . \$/ HR	\$0
12.	Start-up personnel	8.0 MH@ 37. \$/ HR	\$296
13.	Superintendent	8.0 MH@ 40 \$/ HR	\$320
14.	ESTIMATOR/ASSIST. P.M.	0.0 MH@ 40. \$/ HR	\$0
15.	DETAILING	0.0 MH@ 38. \$/ HR	\$0
LABOR SUB-TOTAL			\$3,775
S.S., INSURANCE AND TAXES % 45.40%			\$1,714
FRINGES LABOR SUBTOTAL X 0%			\$0
SAFETY LABOR SUBTOTAL X 0%			\$0
ACCEL. &/ OR EFF. FACTOR %			\$0
TOTAL LABOR			\$5,489

PROPOSED CHANGE PAGE 2

CHANGE NO: 8

JOB EXPENSE COST:

1.	Service Charge per attached		\$0.00
2.	Equipment Fuel		\$0.00
3.	Small Tools		\$100
4.	Trench Box		\$0
5.	Crane w/ concrete bucket		\$0
6.	Skid Steer		\$0
7.	Sand, select fill, gravel		\$0
8.	Mobilization (Move-in/Move-out) % Mat'l/Lab)		\$0
9.	Other Detailing Cost	(0.0 HR @ \$10.00/HR)	\$0
10.			\$0.00
	TOTAL JOB EXPENSE COST		\$100

SUBCONTRACTS:

1.	Insulation Subcontractor		\$515
2.	Sheet Metal Subcontractor		\$1,373
3.	Controls Subcontractor		\$0
4.	Hydro Jet & Camera		\$0
5.	Painting Subcontract		\$0
6.	Electrical Subcontract		\$0
7.	General Construction Subcontract		\$0
8.	Medical Gas System Supplier		\$0
9.			\$0
10.			\$0
11.			\$0
	TOTAL SUBCONTRACTORS COST		\$1,888

RECAPITULATION:

1.	Materials and/ or Equipment Cost		\$5,782
2.	Labor Cost		\$5,489
3.	Job Expense Cost		\$100
4.	Subcontracts Cost		\$1,888
	SUB-TOTAL		\$13,259
5.	Guarantee (Warranty) (5% Equipment)		\$0
6.	Engineering & Drafting (7% Material)		\$0
7.	Special Insurance		\$0
	TOTAL DIRECT COST		\$13,259
8.	OH & Fee	10%	\$1,326
	TOTAL GROSS COST		\$14,585
10.	Bond % N.A.	0.00	\$0
	TOTAL BID		\$14,585

TUTOR ELECTRICAL SERVICE, INC.

201 Willow Creek Ct.
Mansfield, TX 76063
Phone: (817) 516-0064
Fax: (817) 516-0086
www.tutorelectric.com
TECL #17144

Electrical Bid Proposal

11/7/2016

Daniel Anderson
Byrne Construction Services
2601 Scott Ave. Suite 300
Fort Worth, TX 76103

Re: Richland Hills Activity Center PR #01 Phase #2
Richland Hills, TX.
Original Bid Date: 6/11/2016

Subj: Electrical Bid Proposal

Dear Mr. Anderson:

Tutor Electrical Service, Inc. submits the following electrical Proposal for the Richland Hills Activity Center PR #03 Phase 2 project located in Richland Hills, TX. Our Proposal is limited to the details of the scope of work specifically contained in the Electrical contract document drawings, addenda, and specifications included in the indices below, and the list of clarifications, additions, and considerations that follow. Before making project schedules, please contact us to discuss long-lead items and our time/task durations. By Byrne Construction Services' acceptance of this Proposal, it acknowledges that its representative has read the contents herein and accepts the terms and conditions included.

- Index of Electrical Drawings Dated 10/25/2016:
E101 E102 E501 E502 E702 WF4 WF6 WF11

This Proposal is based on the above listed drawings only. Any fixtures, devices, equipment connections, or appurtenances that appear on drawings other than those specifically listed in the above index are excluded from this Proposal unless specifically listed, by page number and description, in this Proposal. Tutor Electrical Service, Inc. makes no assumption as to the clarity or completeness of the engineered drawings and therefore accepts no responsibility for interpreting design intent, or for correcting errors or omissions. Items listed herein applicable to LEED points will be specifically identified as such; otherwise items are assumed to not be applicable to LEED points.

- Index of Included Addenda: None
- Index of Included Specification Sections: Division 26 Electrical

This Proposal is based on the understanding that the requirement to "refer to related scope," if used in any of the Specifications sections listed above, refers to coordination of work only, and does not indicate an expansion of the scope of work defined in this Proposal to include work listed elsewhere unless noted otherwise and specifically listed, by item and area of work, in this Proposal.

Regulated by The Texas Department of Licensing and Regulation,
P.O. Box 12157, Austin, Texas 78711,
1-800-803-9202, 512-463-6599;
website:www.tdlr.texas.gov

TUTOR ELECTRICAL SERVICE, INC.

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TECL #17144

I. Pricing

A.	Base price for above scope of work:	\$ 264,900.00
B.	Alternate #1 Adder:	\$ 20,300.00
C.	Alternate #3 Adder:	\$ 13,100.00
D.	Sub-Total:	\$ 298,300.00
E.	Value-Engineered items:	--0--
F.	Total:	<u>\$ 298,300.00</u>

Byrne Construction Services will be required to pre-pay any portion (or the entirety) of the total price shown below if one or more of the specified materials manufacturers, or project owner's preferred or National Account vendors, require prepayment, deposit, or payment upon delivery (C.O.D.). Byrne Construction Services agrees with these terms. _____ Initials

A deposit of 0 % (or \$.00) Is Is Not X required to be paid to Tutor Electrical Service, Inc. prior to the purchase of the following materials:

- Index of Materials Requiring Pre-Payment: N/A

II. Scope of Work: Additions, Exclusions, and Clarifications

- A. Sales tax has been excluded from our Proposal. If Byrne Construction Services intends that the work covered hereby is to be performed on a tax-free basis, then Byrne Construction Services shall be required to provide a valid Exemption Certificate in sufficient time to allow Tutor Electrical Service, Inc. to verify the applicability of the exemption status. Absent valid documentation of the sales tax status of the work, Tutor Electrical Service, Inc. is required by law to charge, collect and remit sales tax.
- B. Our Proposal excludes any temporary power from this proposal. Existing T-pole is onsite and in place from Phase #1.
- C. Costs for connecting additional Construction Trailer(s), large or double-wide trailers, or non-standard temporary loads (such as welders, concrete saws, construction hoists or elevators) are not included in this Proposal and, if so required, shall be added as an Owner and General Contractor-approved change order at the discretion of Tutor Electrical Service, Inc. This budget excludes all Utility Company fees and utility bills for electricity used during construction.
- D. All Utility Company fees and infrastructure costs that may be associated with obtaining permanent electrical, telephone, data and/or other services are excluded from this Proposal.
- E. We have allotted for providing and installing a complete fixture package of the type and manufacturer specified in the bid documents, obtained from the Owner's specified supplier, unless noted otherwise herein.
- F. All light fixtures will be securely fastened to the ceilings and walls in which they are installed using listed fasteners and/or integral supports. Specifically excluded from this Proposal are any additional ceiling grid wires or other additional support devices or methods that may be shown or required by the contract documents or the Authority Having Jurisdiction for light fixture support.
- G. We have excluded any Fire Alarm from this proposal.
- H. We have allotted for (2) 2" PVC conduits with large-radius sweep elbows and pull strings for the new primary electrical conduit from the utility pole to the location of the new utility-provided, pad-mount transformer.

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- I. Unless noted otherwise, we have allotted for EMT conduit in all exposed locations, PVC conduit inside the pump house and underground.
- J. Included in our Proposal is a one-point connection to Panel LE-P for the fountain installer to tie his electrical equipment into.
- K. We have excluded providing or installing any lighting fixture or controls inside the fountain area. This work is to be done by the fountain installer.
- L. This Proposal does not include maintenance, repair, or replacement of any existing electrical equipment unless specifically called for in the drawings and specifically listed, by item and area of work, in this Proposal.
- M. Painting of any new electrical cabinets, equipment or conduit, is limited to touch-up of standard factory finishes as may be reasonably necessary, unless specifically called for in the electrical specifications. Tutor Electrical Service, Inc. is expressly not responsible for repairing damage to its work caused by others.
- N. All cutting, removal, and patching of walls, ceilings, and floors will be performed by others, unless noted otherwise and specifically listed, by item and area of work, in this Proposal.
- O. All concrete work, including cutting, removal, disposal, pour back, light pole bases, and forming and pouring of housekeeping pads will be performed by others and is excluded from this Proposal.
- P. This Proposal excludes all cost associated with any code violations existing at the work site or in the plans and specifications, as drawn, at time of bid, known or unknown.
- Q. Backing in walls and above ceilings that may be required for the installation of any equipment is excluded from this Proposal.
- R. We have excluded the furnishing and installation of any plywood backboards.
- S. The equipment, cabling, rough in, and installation is excluded for all low voltage systems, such as Voice/Data, CATV, CCTV, security, etc.
- T. We have excluded all HVAC control hardware, including HVAC controls, unless noted otherwise and specifically listed, by item and area of work, in this Proposal.
- U. All costs associated with hazardous materials (i.e. asbestos, PCB, etc.) are excluded.

III. Non-Scope Related Considerations

- A. Our State of Texas Electrical Contractor's License is #17144.
- B. We have excluded all plan check, permit, inspection and/or other fees that may be required by the Authority/Authorities Having Jurisdiction (AHJ) over this project. Re-inspection fees from the AHJ only that may be incurred as the result of a failed inspection due to a Tutor Electrical Service, Inc. deficiency are not considered part of this exclusion.
- C. This Proposal specifically excludes any engineering or design costs associated with any changes or modifications to the original contract drawings listed herein, unless noted otherwise and specifically listed, by item and area of work, in this Proposal.
- D. This Proposal will remain valid for a period of 30 days from the above date, after which date it is deemed withdrawn, unless renewed or reconfirmed in writing by Tutor Electrical Service, Inc.
- E. This Proposal, and the pricing contained herein, is based upon all work being performed during normal working hours, unless noted otherwise and specifically listed, by item and area of work, in this Proposal. In the event work is to be performed outside normal working hours, premium and/or overtime rates may apply and chargeable to Contractor unless specifically and solely caused by Tutor Electrical Service, Inc.
- F. This Proposal, in its entirety, shall be attached to and made a part of our Subcontract, and is an offer to enter into a standard AIA Document A401 (1997 Edition) Sub-Contract for the performance of this work. Tutor Electrical Service, Inc.'s bid and its agreement to perform the work set forth herein are explicitly contingent upon Byrne Construction Services and Tutor

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 TECL #17144

Electrical Service, Inc. successfully negotiating mutually-acceptable contract terms. Byrne Construction Services agrees that Tutor Electrical Service, Inc. will not be bound by any term or condition of the prime contract unless the same is provided (financial information redacted if necessary) following acceptance of this Proposal and prior to execution of the subcontract.

- G. The pricing in this Proposal is based on the following Insurance limitations currently maintained by Tutor Electrical Service, Inc.:

<i>General Liability:</i>	<i>General Aggregate</i>	\$2,000,000
	<i>Products -COMP/OP AGG</i>	\$2,000,000
	<i>Personal & Adv. Injury</i>	\$1,000,000
	<i>Each Occurrence</i>	\$1,000,000
	<i>Fire Damage (Any one fire)</i>	\$100,000
	<i>Med Exp. (Any one person)</i>	\$5,000

Excess Liability:

<i>Umbrella Form</i>	
<i>Each Occurrence</i>	\$2,000,000
<i>Aggregate</i>	\$2,000,000

Automobile Liability:

<i>Combined Single Limit (Each accident)</i>	\$1,000,000
--	-------------

Workers' Compensation:

<i>EL Each Accident</i>	\$1,000,000
<i>EL Disease - Policy Limit</i>	\$1,000,000
<i>EL Disease - Ea. Employee</i>	\$1,000,000

Unless specifically included in this Proposal, all special insurance requirements are excluded and shall be subject to availability based upon carrier and surety underwriting standards, and if available and supplied, shall be supplied at additional cost. In submitting this Proposal, Tutor Electrical Service, Inc. is not enrolling in, nor accepting inclusion into any mandatory Owner-Controlled Insurance Program (OCIP) or Contractor-Controlled Insurance Program (CCIP).

- H. This Proposal is based upon the drawings provided by Byrne Construction Services either through digital transmittal, hard copy, or other means. Byrne Construction Services warrants that construction methods, fixtures, systems, panels, relays, disconnects, and other such devices specifically called for in the plans and specifications provided for bidding purposes meet all applicable codes and requirements at the time of inspection. If the drawings call for specific methods, fixtures, systems, panels, relays, disconnects and other such devices, which do not meet current codes and standards, then Byrne Construction Services will promptly issue an authorized change order to meet such requirements.
- I. Byrne Construction Services will timely respond to Tutor Electrical Service, Inc.'s written Requests for Information (RFI). Byrne Construction Services agrees that Tutor Electrical Service, Inc. may stop, without penalty, any electrical work which is affected by an unanswered RFI until Byrne Construction Services provides Tutor Electrical Service, Inc. with a written response that answers or clarifies the issues raised in the RFI. Tutor Electrical Service, Inc. will be paid for its costs of delay, acceleration, and re-work resulting from Byrne Construction Service's direction to proceed during an unreasonable delay in answering RFI's.
- J. Byrne Construction Services will promptly negotiate change orders. For the purpose of this proposal, a change order is defined as a "change to the contract sum or contract time issued after the execution of the contract by a party designated in the contract as having authority to make changes to the contract. Tutor Electrical Service, Inc.'s standard practice for pricing labor on change orders is controlled by the type of change order requested, and when the change occurs:
- For pre-installation changes to the base contract generated by a Request for Pricing

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 P.O. Box 12157, Austin, Texas 78711,
 1-800-803-9202, 512-463-6599;
 website:www.tdlr.texas.gov

TUTOR ELECTRICAL SERVICE, INC.

201 Willow Creek Ct.
 Mansfield, TX 76063
 Phone: (817) 516-0064
 Fax: (817) 516-0086
 www.tutorelectric.com
 TECL #17144

- (RFP) or similar proposal, the total labor costs will be formulated using "new installation" labor units priced at an hourly rate of \$56.00 per hour (including labor burden).
- For post-installation changes to the base contract generated by a Request for Pricing (RFP) or similar proposal, the total labor costs will be formulated using "re-work" labor units (typically two times higher than "new") priced at an hourly rate of \$56.00 per hour (including labor burden).
 - For field-directed change orders performed on a time & material basis, total labor costs will be formulated using actual hours worked billed at \$85.00 per hour, employee classification notwithstanding.
- K. All costs associated with change orders (either proposed or directed) will have Overhead applied at 20%, unless controlled by the terms of the prime contract between the Owner and Byrne Construction Services.
- L. All costs associated with change orders (either proposed or directed), including Overhead, will have Profit applied at 10%, unless controlled by the terms of the prime contract between the Owner and Byrne Construction Services.
- M. Byrne Construction Services agrees that Tutor Electrical Service, Inc. is not required to proceed with any change order work without a properly executed, authorized change order that is mutually acceptable to both parties. Tutor Electrical Service, Inc., will not incur any additional costs to itself or any of its agents, including the purchase of additional materials until Byrne Construction Services provides Tutor Electrical Service, Inc. a written change order, on Byrne Construction Service's official Change Order form, executed by authorized persons. Tutor Electrical Service, Inc. will be held harmless from any costs or penalties incurred by or during an unreasonable delay in issuing change orders.
- N. Byrne Construction Services shall make monthly progress payments to Tutor Electrical Service, Inc. in accordance with Texas law. Progress payments will be calculated using a percentage-completed method based on a Schedule of Values established and submitted after contract execution. Progress payments will include the costs for all labor, materials, fixtures and equipment delivered to the site, or stored off site, incurred during each billing period, less retainage. The initial Progress payment will include start-up and mobilization fees equal to 10% of the total contract amount. All Progress payment invoices will be due upon receipt, and will be paid within contractual time limits or the Prompt Pay Statutes of the State of Texas, whichever is sooner.
- O. Invoices for Progress payments that become "Past Due" as defined under the Texas Property Code begin to accrue interest on the day after the date on which the payment becomes due. All unpaid amounts bear interest at the rate of 1.5% each month, or 18% annually. Interest on an unpaid amount stops accruing on the earlier of:
1. The date of payment delivery;
 2. The date of payment mailing, if payment is mailed and delivery occurs within three days; or
 3. The date a judgment is entered in an action brought under the Texas Property Code.
- P. Byrne Construction Services agrees that at the time of this Proposal, and unless specifically noted otherwise, Tutor Electrical Service, Inc. has not been provided with a copy of the Prime Contract or the terms and conditions of same to which Byrne Construction Services intends for Tutor Electrical Service, Inc. to be bound. However, by its acceptance of this Proposal, Byrne Construction Services agrees to provide all such terms and conditions for Tutor Electrical Service, Inc.'s review, negotiation and/or agreement, if any. Byrne Construction Services further agrees and acknowledges that Tutor Electrical Service, Inc. has not yet been provided with Owner's financial information in accordance with Chapter 56 of the Texas Business and Commerce Code in order to ascertain the financial ability of Owner to pay for the work performed by Tutor Electrical Service, Inc., and thus, Tutor Electrical Service, Inc.

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- does not rely on Owner's payment therefore.
- Q. This Proposal is prepared based upon prevailing materials pricing as of the date of bid, and the pricing submitted herewith shall be binding upon Tutor Electrical Service, Inc. only if: (1) the bid is accepted as written before the Final Acceptance Date (as defined hereinabove); and (2) Tutor Electrical Service, Inc.'s work hereunder is initiated and scheduled such that Tutor Electrical Service, Inc. can order, deliver, and install (or securely store) all materials required for performance of the work prior to the expiration of three months from the date of bid (the Price-Protected Performance Period), after which Tutor Electrical Service, Inc. shall have the option of either (1) repudiating its agreement to perform the work, or (2) re-pricing its work to accommodate any escalations in the price of essential materials. In the alternative, Byrne Construction Services may confirm this pricing by (1) authorizing Tutor Electrical Service, Inc. to order and stock such materials prior to the expiration of the Price-Protected Performance Period; (2) paying Tutor Electrical Service, Inc. for all such materials immediately upon stocking same; and (3) providing secure and appropriate storage facility for such materials until the materials are needed at the jobsite.
- R. As of submission of this Proposal, Tutor Electrical Service, Inc. has a good-faith belief that all required materials will be available for use on this project when needed. If, as a result of materials shortages or other logistical difficulties beyond the control of Tutor Electrical Service, Inc., we are unable to secure all such materials after Byrne Construction Services acceptance hereof, Tutor Electrical Service, Inc. shall be entitled to terminate its contract and obligations, and shall have no further responsibility to Byrne Construction Services relating to this project, or any other.
- S. This Proposal is based upon Tutor Electrical Service, Inc.'s projection of available manpower and resources as determined at time of bid. In the event that project start-up as scheduled is delayed, or unforeseen conditions arise, Tutor Electrical Service, Inc. reserves the right to withdraw this Proposal without penalty.
- T. This Proposal is based on Tutor Electrical Service, Inc. performing all work according to an appropriately sequenced construction schedule. As soon as possible, after execution of the Subcontract and within a reasonable time before work is to commence on this project, Byrne Construction Services and Tutor Electrical Service, Inc. will cooperate in deriving the construction schedule. Byrne Construction Services schedule shall provide for optimal efficiency of electrical installation, objectively considering appropriate manpower requirements, and Tutor Electrical Service, Inc.'s Proposal and price are predicated upon this provision. Any material acceleration of work by Byrne Construction Services will be the subject of a change order.
- U. Tutor Electrical Service, Inc. will not be responsible for the costs of delays caused by the weather, the Owner, Byrne Construction Services, other trades or third persons not the employees, agents, or subcontractors of Tutor Electrical Service, Inc. Byrne Construction Services will pay to Tutor Electrical Service, Inc. its costs to protect finished work, or uncover and recover work, due to an inappropriate construction schedule or as a result of material delay or acceleration, which is not the fault of Tutor Electrical Service, Inc. These costs include, but are not limited to, the cost to demobilize, remobilize, return or reorder materials, opportunity cost, and inventory carrying costs, general conditions, overhead and profit.
- V. Byrne Construction Services shall provide access to an amount of work sufficient for a standard crew each work day. Any material delay resulting in added costs caused by other trades' failure to complete prior necessary work according to the established construction schedule, other trades' interference with current Tutor Electrical Service, Inc. work, or access to work areas restricted by the Owner or Byrne Construction Services shall be the subject of a Change Order.
- W. Byrne Construction Service's acceptance of Tutor Electrical Service, Inc.'s Proposal, in

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writing, is Byrne Construction Service's agreement to the terms and conditions herein. In accepting our Proposal, you agree to expressly incorporate all terms and conditions of this Proposal into any writing subsequently entered into between Byrne Construction Services and Tutor Electrical Service, Inc., which writing shall not supersede any of the terms in this Proposal. Byrne Construction Service's directive to proceed with the work proposed herein, or any part thereof, by written notice of intent, issuance of a subcontract, or other means shall constitute acceptance of all of the terms and conditions of this Proposal by Byrne Construction Services.

Thank you for the opportunity to present this Proposal. If you have questions, please do not hesitate to contact me.

Respectfully,

Jason Werry

Project Manager



STRUCTURED TECHNOLOGY CABLING QUOTE

4343 W. Royal Lane | Suite 118 | Irving | Texas | 75063
Main: 972-916-3100 or 800-486-0011 | Fax: 972-916-3140
Website: comnetcomm.com

Estimator Name: **Rodney Pollock**
Estimator Direct: **972-916-3121**
Estimator eFax: **855-818-1902**
Estimator Email: **rpollock@comnetcomm.com**

Change Order No.: 901

RECIPIENT INFORMATION:

CLIENT/SITE INFORMATION:

DATE: November 9, 2016



Byrne Construction Services
3100 W 7th St. Ste 200 | Fort Worth, TX
817-734-9350
bwolf@tsbyrne.com

ATTN: Brian Wolf

City of Richland Hills Texas
Richland Hills Activity Center
6750 Baker Blvd.
Richland Hills, TX 76118
Job #: 01-04-012204

EXECUTIVE SUMMARY:

This change order has been generated in order for ComNet to provide and install one (1) 4-Pair Cat6 OSP cable from the Activities Center MER to the Pump Equipment Building. Cable will be housed within a conduit path between the buildings that will be provided and installed by others (exact size, distance and route TBD). The distance is expected to exceed the TIA/EIA 10/100/1000 G-Base distance limitations by at least 300 more feet, and will not pass a Cat6 cable test, but will still function as a communications or control cable. After cable enters the building, it will be terminated at each end on a 4-pair Cat6 solid state lightning protection entrance terminals. From there, a Cat6 cross-connect will be terminated onto a Cat6 jack module housed in a surface mount box at both ends. *(An alternate price has been provided for a 2nd cable for future or alternate applications).*

Base Bid (One Cat6 to Pump Rm.):

Material: \$536.18
Installation: \$764.00
Total: \$1,300.18

Alternate Bid (Two Cat6 to Pump Rm.):

Material: \$1,066.40
Installation: \$995.00
Total: \$2,061.40

TERMS: Due upon receipt of Invoice

All (Applicable) local and state Taxes shall apply upon project completion

Rodney Pollock

[Estimator]

Accepted By:

Purchase Order Number:

Standard Practices

- The above scope of work will be performed according to ANSI/TIA/EIA-568-B.1 Commercial Building Cabling Standards Part 1 General Requirements and ANSI/TIA/EIA-568-B.2 Commercial Building Cabling Standards Part 2 Balanced Twisted Pair Cabling Components.
- The MER / TR installation shall comply with ANSI/TIA/EIA 569-A Commercial Building Cabling Standards for Telecommunications Pathways and Spaces along with BICSI 12th Edition TDMM recommendations.
- Distribution of the horizontal station cabling from the Telecommunications Room (TR) shall be made in such fashion as not to exceed 295 ft. (90 meters).
- Cables will be placed with sufficient bending radius as specified by the manufacturer so as not to kink, shear, or damage binders.
- Cable routes overhead will be field engineered to avoid obstruction, ducts, and other material and interference from electrical lines and fluorescent lights.
- An independent cable pathway with its own suspension system will be installed throughout the facility. Horizontal subsystem cabling support above the false ceiling will be at 5' intervals, utilizing 6" strap style supports for larger cable pathway and 2", or smaller, J-Hook support systems for support of branch pathways to work area outlets.
- Pathways will be established perpendicular and parallel to building lines.
- Cables will be labeled at both ends, within 6" of termination point and on the terminating device, such as patch panel port and faceplate.
- Fire-rated walls shall be sleeved and fire-sealed per proper rated assembly to restore rating of all penetrations.
- Pathway and spaces standard ANSI/TIA/EIA-569-A Commercial Building Standard for Telecommunications Pathways and Spaces will be adhered to with the above installation of cable support and fire suppression products.
- A #6 AWG ground wire will extend the ground from the Ground Bus Bar to the equipment racks and cable runway to establish a common ground mechanism. Installation shall be made per ANSI-J-STD-607-A.

Material Pricing Summary

Base Bid (One Cat6 OSP Cable to Pump Room)

MFG.	Part Number	Description	Quantity	UOM	Unit Price	Ext. Price
Commscope	4665904/10	Media 6@ 6NF4+ Category 6 U/UTP filled Cable, outdoor direct burial, black jacket, 4 pair count, 1000 ft, reel	1	Reel	\$327.78	\$327.78
SurgeGate	CAT6-LAN	Outside Plant Entrance Protection Module, 4-Pair Cat6 Rated, 110 in/110 out, 16V Solid State	2	ea.	\$95.28	\$190.56
CommScope	107984056	Surface Mount Box - 2 port_White	2	ea.	\$2.98	\$5.96
CommScope	UNJ600-WH	Category 6 UTP Modular Inserts_White (data)	2	ea.	\$5.94	\$11.88

Material: \$536.18
Installation: \$764.00
Total: \$1,300.18

Alternate Bid (Two Cat6 OSP Cables to Pump Room)

MFG.	Part Number	Description	Quantity	UOM	Unit Price	Ext. Price
Commscope	4665904/10	Media 6@ 6NF4+ Category 6 U/UTP filled Cable, outdoor direct burial, black jacket, 4 pair count, 1000 ft, reel	2	Reel	\$327.78	\$655.56
SurgeGate	CAT6-LAN	Outside Plant Entrance Protection Module, 4-Pair Cat6 Rated, 110 in/110 out, 16V Solid State	4	ea.	\$95.28	\$381.12
CommScope	107984056	Surface Mount Box - 2 port_White	2	ea.	\$2.98	\$5.96
CommScope	UNJ600-WH	Category 6 UTP Modular Inserts_White (data)	4	ea.	\$5.94	\$23.76

Material: \$1,066.40
Installation: \$995.00
Total: \$2,061.40

Assumptions

- Pricing is based on an (8) hour workday, 8:00 AM to 5:00 PM, Monday through Friday.
- This quote shall be void if the project contains the requirement for a Project Labor Agreement, Project Stabilization Agreement or similar labor harmony arrangement.
- If required, customer will provide all installation personnel with access badges, keys and / or escorts in order to perform the work in a timely manner.
- Customer will have a designated Project Manager to answer any/all questions that might arise during the project installation.
- Customer will provide area for storage of materials and telephone access.
- Return trips for operational verification of other vendors equipment, will be billable at standard rates should there be no fault found with cabling installation.
- Delays due to closings, limited access, or other events, which are the result of the customer's action or inaction, will be billed at a rate of \$48.00 per hour for every hour the delay exists.
- All pricing is based upon the scope of work stated in this proposal.
- No expedited construction costs are included in this pricing.
- Performance, payment bonds, and/or liquidated damages have not been included in our proposal.
- The customer is responsible for all conduit paths. It is assumed that all conduits are free from obstruction.
- Compliance with all applicable state and local codes will be adhered to by ComNet Communications, LLC.
- Identification of existing utilities is the customer's responsibility.
- Permits and/or right-of-ways are the customer's responsibility
- Installation of the Bonding Conductor for Telecommunications (BCT) is assumed to be provided by the Electrical Contractor from the approved service entrance ground to the Telecommunications Main Ground Busbar (TMGB) in the Main Equipment Room (MER). Electrical Contractor is to install Telecommunications Bonding Backbone (TBB) to each Telecommunications Ground Busbar (TGB).
- It is the customer's responsibility to provide ComNet Communications, LLC employees with an environment free from hazardous pollutants, including asbestos. In the event pollutants are encountered; the customer shall remove the pollutant and bear any additional construction charges that may result.

BP-310000 Earthwork				Raymond Construction		
RHAC - Phase II				Tracy Raymond		
Richland Hills, TX				(903) 440-6023		
BID DATE: 11/15/2016		TSB QTY	TSB PLUG			
BASE BID				\$38,428		
PER PLANS & SPECS				Yes		
ADDENDA				0		
BOND RATE				2.00%		
Wage Rates?				Yes		
Provide Bid Package?				N/A		
Attended Pre-Bid Meeting?				N/A		
Provided Budgeting Pricing?				N/A		
See attached Subcontractor Proposal.						
SWPPP Inspection		1 ls	\$1,650	\$1,650		
Inlet Protection Maintenance & Removal		5 each	\$275	\$1,375		
Silt Fence Maintenance & Removal		445 Inft	\$3	\$1,446		
Construction Entrance Install & Removal		2 each	\$1,750	\$3,500		
Lime Stabilization 12" at 6% 50CD		446 sqyd	\$8	\$3,566		
Licensend Survey		1 ls	\$2,750	\$2,750		
Barricades/ Traffic Control		1 ls	\$7,500	\$7,500		
SALES TAX EXCLUDED? ("Included" or "Excluded")				excluded		excluded
ADJUSTMENTS				\$21,788		
TOTAL WITHOUT BOND				\$60,216		
BOND PREMIUM				\$1,204		
TOTAL			\$13,936	\$61,420		
Parking Canopy Alternate				N/A		
Band Shell Alternate				N/A		
Veteran's Memorial Alternate				N/A		



PR # 1

Raymond Construction
323 PR 5991
Yantis TX, 75497
(p) 903-383-2777 (f) 903-383-2776

PR# 1

Attn: Estimating Dept

We propose to furnish all labor, materials, and equipment necessary to construct, as an independent contractor, the following described work listed below based on the plans & specs provided:

Earthwork, Demolition & Erosion Control for RHAC PR#1 according to plans & Specs by Pacheco Koch dated 10/25/16

DESCRIPTION

PR # 1

1	<i>Mobilization</i>	<i>APPROX.</i>	<i>1</i>	<i>LS</i>	<i>@</i>	<i>\$3,650.00</i>	<i>\$3,650.00</i>
2	<i>Rem Pavement</i>	<i>APPROX.</i>	<i>1,727</i>	<i>SY</i>	<i>@</i>	<i>\$7.00</i>	<i>\$12,089.00</i>
3	<i>Clear & Grubb</i>	<i>APPROX.</i>	<i>1</i>	<i>LS</i>	<i>@</i>	<i>\$2,250.00</i>	<i>\$2,250.00</i>
4	<i>Site Cut</i>	<i>APPROX.</i>	<i>831</i>	<i>CY</i>	<i>@</i>	<i>\$4.00</i>	<i>\$3,324.00</i>
5	<i>Site Fill</i>	<i>APPROX.</i>	<i>1,852</i>	<i>CY</i>	<i>@</i>	<i>\$5.00</i>	<i>\$9,260.00</i>
6	<i>Scarify & Recompact Subgrade</i>	<i>APPROX.</i>	<i>1</i>	<i>LS</i>	<i>@</i>	<i>\$2,000.00</i>	<i>\$2,000.00</i>
7	<i>Grade + - .10</i>	<i>APPROX.</i>	<i>1</i>	<i>LS</i>	<i>@</i>	<i>\$3,355.00</i>	<i>\$3,355.00</i>
8	<i>Backfill Curbs</i>	<i>APPROX.</i>	<i>1</i>	<i>LS</i>	<i>@</i>	<i>\$2,500.00</i>	<i>\$2,500.00</i>

Subtotal: \$38,428.00

EXCLUDES:

- Haul off of contaminated spoils*
- Lime Stabilization*
- Construction Material Testing*
- Cleanup/Regrading for other trades*
- Storm Water Pollution Prevention Plan*
- Export of spoils for other trades*
- Payment, Performance & Maintenance Bonds*

INCLUDES:

For questions concerning this proposal Contact Tracy Raymond (903-440-6023) or traymond@raymondconstructionllc.com visit us @ www.raymondconstructionllc.com

Estimate



ATC Lone Star Services

5025 Martin Luther King Freeway
Fort Worth, TX 76119

Ph: 817-831-2727

Fx: 817-831-2621

Date	Estimate #
11/4/2016	27431

Customer Name
Thos S. Byrne 2601 Scott Avenue, Suite 300 Fort Worth, TX 76103 817-335-3394
Service Location
Richland Hills Activity Center Ph II 6750 Baker Blvd Richland Hills, TX 76118

Description	Total
Change Order #1 to Existing Contract New Layout and Striping, To Include Approximately: 1 - ADA Sign & Logo 1 - ADA Hash 47 - Wheelstops 56 - Parking Spaces Clean Pavement to Prepare for Striping, If Requested, Will Be An Additional \$ 2000.00 Included Move-Ins: Striping = 1 ; Cleaning = 1. (Should Additional Move-Ins Be Required Due to Construction Debris, Vehicles/Trailers, or Any Factors Interfering w/Scheduled Work, Each Additional Move-In Will Be Charged @ \$600.00/EA.) All Addenda Have Been Reviewed and Reflected in This Bid	5,800.00

* PRICING IS SUBJECT TO CHANGE AFTER 180 DAYS DUE TO MATERIALS COST & ESCALATION

TOTAL = \$5,800.00

* INSURANCE DOCUMENTS AVAILABLE UPON REQUEST

F.S.I. (Flagpoles, Signs & Interiors)

Estimate

6021 Montrose Ct E
Cleburne, Texas 76033
Tel # 817-226-2266
Tax ID # 16-1665931

Date	Estimate #
11/1/2016	3153

Name / Address
Byrne Construction Brian Wolf 2601 Scott Avenue, Suite 300 Fort Worth, TX 76115

Project
Richland Hills Activity Center 6750 Baker Blvd. Richland Hills, TX 76118

Description	Qty	Rate	Total
25' X 6" X .188" Independence Model Flagpole	1	2,900.00	2,900.00
20' X 6" X .188" Independence Model Flagpole	2	2,800.00	5,600.00
Winch Based, Internal Halyard, Aluminum Flagpoles Clear Anodized Finish Gold Anodized Finial Ball 1/8" Stainless Steel Aircraft Cable Halyard Stainless Steel Swivel Snaps w/ Vinyl Covers All Components Included Flash Collar Galvanized Ground Sleeve Submittals & Installation Included			
*Winch Operator with flush door requires min. 6" base diameter (5" base was specified on the 20' flagpole drawings)			
HUB CERTIFICATION #1161665931100		Subtotal	\$8,500.00
		Sales Tax (8.25%)	\$0.00
		Total	\$8,500.00

MAVERICK UTILITY CONSTRUCTION, INC.

P.O. Box 728
Euless, TX 76039

Phone: 817-684-0858
Fax: 817-684-0360

Change Proposal #5

Date
11/10/2016

Contact Info

Project

Please Direct All Questions to Bryan Yule byule@mavutility.com			NRH Activities North Richland Hills		
Item	Description	Quantity	Unit	Unit Price	Total

Section A - Water Distribution

1	2" PVC Domestic Water	103	l.f.	\$ 37.05	\$ 3,816.15
2	2" Water Service (No Meter)	1	ea.	\$ 8,236.00	\$ 8,236.00
3	Cut & Remove Paving	241	s.f.	\$ 7.20	\$ 1,735.20
4	Paving Replacement	241	s.f.	\$ 10.10	\$ 2,434.10
5	Traffic Control	1	l.s.	\$ 5,716.00	\$ 5,716.00
6	Testing	103	l.f.	\$ 4.10	\$ 422.30
7	Trench Safety	103	l.f.	\$ 7.00	\$ 721.00
8	Layout	1	l.s.	\$ 545.00	\$ 545.00
Total Water					\$ 23,625.75

Item	Description	Quantity	Unit	Unit Price	Total
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Section B - Sewer Distribution

1	4" SDR-26 PVC Sewer	64	l.f.	\$ 70.42	\$ 4,506.88
3	Connect To Existing Manhole	1	ea.	\$ 2,691.00	\$ 2,691.00
4	Testing	64	l.f.	\$ 4.10	\$ 262.40
5	Trench Safety	64	l.f.	\$ 5.00	\$ 320.00
6	Layout	1	l.s.	\$ 339.00	\$ 339.00
Total Sewer					\$ 8,119.28

Item	Description	Quantity	Unit	Unit Price	Total
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Section C - Storm Drain Distribution

1	18" HDPE Storm Drain	32	l.f.	\$ 121.74	\$ 3,895.68
2	Connect to Existing Storm	4	ea.	\$ 1,503.00	\$ 6,012.00
3	Demo Existing Inlet	1	ea.	\$ 1,494.00	\$ 1,494.00
4	Demo Existing Storm Line	44	l.f.	\$ 22.03	\$ 969.32
5	Trench Safety	32	l.f.	\$ 8.00	\$ 256.00
6	Layout	1	l.s.	\$ 169.00	\$ 169.00
Total Storm					\$ 12,796.00

Item	Description	Quantity	Unit	Unit Price	Total
Section D - Miscellaneous Section					
1	One Mobilization	1	ea.	\$ 4,941.00	\$ 4,941.00
2	City Maintenance Bond	1	ea.	\$ 1,500.00	\$ 1,500.00
3	Off Site Haul Off of Spoils - Class 1	28	cy	\$ 77.60	\$ 2,172.80
4	P&P Bond	1	ea.	\$ 2,645.80	\$ 2,645.80
5	Plumber Charge	1	ea.	\$ 2,760.00	\$ 2,760.00
Total Misc					\$ 14,019.60
Total Proposal					\$ 58,561.00

Item	Description	Quantity	Unit	Unit Price	Total
Section E - Optional					
1	Public Inspection Fees	1	ea.	\$ 2,514.00	\$ 2,514.00
2	2" Water Meter	1	ea.	\$ 2,746.00	\$ 2,746.00

Alternate to Replace 2 - #20 Catch Basins That May Need to be Lowered					
1	#20 Catch Basin	2	ea.	\$ 2,090.00	\$ 4,180.00
2	Demo Existing Inlet	2	ea.	\$ 1,494.00	\$ 2,988.00
Total					\$ 7,168.00



Proposal

EarthTones Landscaping

Client Name: Byrne
 Project Name: Richland Hills Activity Center
 Jobsite Address: Richland Hills, TX Billing Address: Richland Hills, TX
 Estimate ID: EST459992 Drawing #: PR # 1
 Date: Nov 01, 2016

Exclusions: Furnishing if any, Hardscape, Top Soil for lawn areas, Concrete mow strip, Drainage, Miscellaneous, Sand at Trenches, Maintenance, Excavation, Cost of bonding, OCP insurance premiums, fee(s) for drug testing and background check(s), water meter, tap in, impact fees, electrical service for irrigation controller, sub-grade preparation, sub-grade preparation at lawn and bed area(s), cost of water for maintenance and establishment, flat work, tree preservation unless specifically shown above, restoration in areas outside of scope, cutting, patching, and boring.

Plans Dated 10/25/16 PR # 1

Maintenance \$4,000 per month

Landscaping	\$2,531.13
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6	Each	Bald Cypress - 6" cal	not available on container
6	Each	River Birch - 95 Gal BMNTF	
2	Each	Allee Elm - 3" cal	
2	Each	Shantung Maple - 65 Gal.	
3	Each	Bald Cypress - 65 Gal.	
1	Each	Southern Wax Myrtle - 65 Gal.	
4	Each	Art's Seedless Desert Willow - 65 Gal.	
16	Each	Green Cloud Sage - 5 Gal.	
5	Each	Lynn Legacy Cenizo - 5 Gal.	
7	Each	Sea Green Juniper - 5 Gal	
28	Each	Cimarron Cenizo - 3 Gal.	
32	Each	Gulf Muhly - 3 Gal.	
3	Each	Blue Grama - 1 Gal.	
87	Each	Mexican Feather Grass - 1 Gal.	
20	Each	Abelia, Rose Creek - 3 Gal.	
24	Each	Honeysuckle, Coral - 1 Gal.	
299	Each	Purple Wintercreeper - 4" pots	
41	Each	Bed Mix - cubyd	Install at a depth of 14"

11	Each	Mulch- Hardwood - cbyds	Install at a depth of 3"
6	Each	Below Grade Tree Stake Kits	
19	Each	Sod-Tif 419 Bermuda - sqyd	
13	Each	2-4" Colorado River Rock Cobble - 1 ton	Install at a depth of 4"

Irrigation	-\$2,531.13
------------	-------------

1	Each	1" Irrigation Zone Labor(Tier 2) - 1
1	Each	1" Irrigation Zone Material(Tier 2) - 1"
2	Each	1.5" Irrigation Zone Labor(Tier 2) - 1.5"
2	Each	1.5" Irrigation Zone Material(Tier2) - 1.5"

	Subtotal	\$0.00
	Taxes	\$0.00
	Estimate Total	\$0.00

Estimate authorized by: _____
Company Representative

Estimate approved by: _____
Customer Representative

Signature Date: _____

Signature Date: _____



Proposal

EarthTones Landscaping

Client Name: Byrne
 Project Name: Richland Hills Activity Center
 Jobsite Address: Richland Hills, TX Billing Address: Richland Hills, TX
 Estimate ID: EST459998 Drawing #: PR # 1 Phase 2
 Date: Nov 01, 2016

Exclusions: Furnishing if any, Hardscape, Top Soil for lawn areas, Concrete mow strip, Drainage, Miscellaneous, Sand at Trenches, Maintenance, Excavation, Cost of bonding, OCP insurance premiums, fee(s) for drug testing and background check(s), water meter, tap in, impact fees, electrical service for irrigation controller, sub-grade preparation, sub-grade preparation at lawn and bed area(s), cost of water for maintenance and establishment and flat work, tree preservation unless specifically shown above, restoration in areas outside of scope, cutting, patching, and boring.

Plans Dated 10/25/16 PR # 1 Phase 2

Maintenance \$4,000 per month

Landscaping	\$76,333.48
--------------------	--------------------

14	Each	Allee Elm - 6" cal	
2	Each	River Birch - 95 Gal BMNTF	
2	Each	Oak, Red Shumard - 65 Gal.	
2	Each	Shantung Maple - 65 Gal.	
3	Each	Bald Cypress - 65 Gal.	
2	Each	Texas Red Bud - 45 Gal.	
2	Each	Art's Seedless Desert Willow - 65 Gal.	
70	Each	Loropetalum, Purple Diamond - #5	
143	Each	Cimarron Cenizo - 3 Gal.	
49	Each	Gulf Muhly - 3 Gal.	
185	Each	Blue Grama - 1 Gal.	
163	Each	Mexican Feather Grass - 1 Gal.	
45	Each	Abelia, Rose Creek - 3 Gal.	
34	Each	Honeysuckle, Coral - 1 Gal.	
150	Each	Bed Mix - cubyd	Install at a depth of 14"
45	Each	Mulch- Hardwood - cbyds	Install at a depth of 3"
27	Each	Below Grade Tree Stake Kits	
3670	Each	Sod-Tif 419 Bermuda - sqyd	

82 Each Decomposed Granite - 1 Ton Install at a depth of 4"
4000 Each Weed Barrier Fabric - sqft

Irrigation **\$30,203.47**

1 Irrigation Design Build
1 Irrigation Permit Fee
1 Irrigation Design Fee

Sleeves **\$4,076.88**

1 Irrigation Sleeves Budget

	Subtotal	\$110,613.83
	Taxes	\$0.00
	Estimate Total	\$110,613.83

Estimate authorized by: _____
Company Representative

Estimate approved by: _____
Customer Representative

Signature Date: _____

Signature Date: _____



	\$	1,539,512		COST VALUE OPTIONS LOG
	Pending	\$ 396,054		RHAC - Phase II
	Accepted	\$ -		50% Construction Documents
	Potential Revisions	\$ 396,054		
	Current Estimate	\$ 1,539,512		

No.	Date	Description	Value	Pending	Accepted	Rejected	Notes
ALTERNATES							
Alt. 1	11/15/2016	Parking Canopies	\$ 174,240	\$ 174,240			
Alt. 2	11/15/2016	Veteran's Memorial Monoliths	\$ 41,558	\$ 41,558			
Alt. 3	11/15/2016	Pavilion/Band Shell	\$ 69,641	\$ 69,641			
Alt. 4	11/15/2016	Fencing at Police Parking Area	\$ 110,615	\$ 110,615			
Total			\$ 396,054	\$ 396,054	\$ -	\$ -	

ALTERNATES											
									Contingency 10%		
Alt. 1	Parking Canopies	Qty	UM	Sub	Labor	Material	Sub Total	Lab. Total	Mat Total	Total	
	Parking Canopies (SUPPLY)	2.00	LSUM	\$ 49,800.00			\$ 99,600	\$ -	\$ -	\$ 99,600	
	Parking Canopies (INSTALL)	2.00	LSUM	\$ 14,000.00			\$ 28,000	\$ -	\$ -	\$ 28,000	
	Foundations ALLOWANCE	1.00	LSUM	\$ 8,000.00			\$ 8,000	\$ -	\$ -	\$ 8,000	
	Paint ALLOWANCE	1.00	LS	\$ 2,500.00			\$ 2,500	\$ -	\$ -	\$ 2,500	
	Electrical	1.00	LSUM	\$ 20,300.00			\$ 20,300	\$ -	\$ -	\$ 20,300	
							\$ -	\$ -	\$ -	\$ -	
									Sub Total	\$ 158,400	
									Contingency	\$ 15,840	
Alt. 1										Grand Total	\$ 174,240
Alt. 2	Veteran's Memorial Monoliths	Qty	UM	Sub	Labor	Material	Sub Total	Lab. Total	Mat Total	Total	
	Grade Beams ASSUMED	32.00	LF	\$ 150.00			\$ 4,800	\$ -	\$ -	\$ 4,800	
	Mow Strips ALLOWANCE	80.00	LF	\$ 26.00			\$ 2,080	\$ -	\$ -	\$ 2,080	
	Masonry Backup ALLOWANCE	105.00	SF	\$ 20.00			\$ 2,100	\$ -	\$ -	\$ 2,100	
	Granite ALLOWANCE	297.50	SF	\$ 80.00			\$ 23,800	\$ -	\$ -	\$ 23,800	
	Plaques ALLOWANCE	5.00	EA	\$ 500.00			\$ 2,500	\$ -	\$ -	\$ 2,500	
	Medallions ALLOWANCE	5.00	EA	\$ 500.00			\$ 2,500	\$ -	\$ -	\$ 2,500	
									Sub Total	\$ 37,780	
									Contingency	\$ 3,778	
Alt. 2										Grand Total	\$ 41,558
Alt. 3	Pavilion/Band Shell	Qty	UM	Sub	Labor	Material	Sub Total	Lab. Total	Mat Total	Total	
	Foundations ALLOWANCE	6.00	EA	\$ 1,500.00			\$ 9,000	\$ -	\$ -	\$ 9,000	
	Mow Strips ALLOWANCE	35.00	LF	\$ 26.00			\$ 910	\$ -	\$ -	\$ 910	
	Steel Structure & Roof (SUPPLY)	1.00	LS	\$ 29,000.00			\$ 29,000	\$ -	\$ -	\$ 29,000	
	Steel Structure & Roof (Install)	1.00	LS	\$ 9,800.00			\$ 9,800	\$ -	\$ -	\$ 9,800	
	Paint ALLOWANCE	1.00	LS	\$ 1,500.00			\$ 1,500	\$ -	\$ -	\$ 1,500	
	Electrical	1.00	LS	\$ 13,100.00			\$ 13,100	\$ -	\$ -	\$ 13,100	
									Sub Total	\$ 63,310	
									Contingency	\$ 6,331	
Alt. 3										Grand Total	\$ 69,641
Alt. 4	Fencing at Police Parking Area	Qty	UM	Sub	Labor	Material	Sub Total	Lab. Total	Mat Total	Total	
	Fencing	1.00	LS	\$ 100,559.00			\$ 100,559	\$ -	\$ -	\$ 100,559	
							\$ -	\$ -	\$ -	\$ -	
									Sub Total	\$ 100,559	
									Tax	\$ -	
									Contingency	\$ 10,056	
Alt. 4										Grand Total	\$ 110,615

Jason Moore

From: Daniel Anderson
Sent: Wednesday, November 9, 2016 3:26 PM
To: Brian Wolf; Jason Moore
Subject: Fwd: Richland Hills Activity Center, Phase 2 - Pavilion
Attachments: Marana 20x75 SS 212 8 Eave DB 5 Col NFC ALL.pdf; ATT00001.htm; Vienna 40 OA SS 412 8 Eave 5 Col NFC ALL.pdf; ATT00002.htm; North Richland Hills Activity Center Estimate.pdf; ATT00003.htm

Attached is the budget and information on the pavilion structure and the covered parking structures. We will need to get Cheyenne to price the concrete bases indicated on the attached drawings. Take note that the concrete bases will require engineering to determine if what is shown is ample, but I figured that can be reconciled with what they carry in their estimate for phase 2 once we get that engineering completed, etc.

Sent from my iPhone

Daniel Anderson
Director of Virtual Design and Construction
Senior Estimator
Byrne Construction Services
[2601 Scott Avenue, Suite 300](http://2601%20Scott%20Avenue,%20Suite%20300)
[Fort Worth, Texas 76103](http://Fort%20Worth,%20Texas%2076103)
(P) [817-335-3394](tel:817-335-3394)
(F) [817-877-5507](tel:817-877-5507)
www.tsbyrne.com

Begin forwarded message:

From: "Kim Neal" <sitesource@tx.rr.com>
To: "Daniel Anderson" <danderson@tsbyrne.com>
Subject: RE: Richland Hills Activity Center, Phase 2 - Pavilion

Hi Daniel,
Here is the estimate for the Vienna model. I put the installation as an option.
My sub carries workman's comp, and automobile insurance and general liability, I just carry general liability. My general liability meets your requirements, his workman's comp and auto meet you requirements.
I'm not sure about getting a performance bond. I don't normally get bonds for our scope of work.

I gave James pricing for the Vienna model (estimate and drawings attached) and a Marana Model, (pricing below and drawings attached).
Please let me know if you have any questions.
Thanks,
Kim

Marana model by Classic Recreation Systems, 20' x 75', Standing Seam Design Span Roof, 2:12 Roof Pitch, 8' Eave Height, Tube Steel Fascia, 5 Columns, Direct Bury Full, TGIC Poly Powder Coat w/Zinc Rich Primer, Texas Engineer Stamp, Delivered- \$49,800

Option for Installation- \$14,000 Would include off-load, assembly of the structure and clean up. It would not include any concrete, electrical or masonry work.

From: Daniel Anderson [<mailto:danderson@tsbyrne.com>]
Sent: Tuesday, November 8, 2016 4:17 PM
To: Kim Neal <sitesource@tx.rr.com>
Subject: RE: Richland Hills Activity Center, Phase 2 - Pavilion

There is no problem with you subcontracting the installation to somebody, with the understanding that we are not expected to manage your subcontractor. With that said, we will certainly do what we can to assist you and them in the installation, but we have a lot of other scopes of work on the project to manage.

On a similar subject, I have attached our Bid Package Manual for the first phase of the project. As you will notice, this document mostly references to the first phase rather than the phase 2 scopes of work, however our subcontract agreement, contract conditions, safety responsibilities and policies, job related forms (in particular the insurance, pay app requirements, daily report forms, warranty requirements, etc.) will still be the same for this contracted scope of work. Please review and confirm (and include in your bid any necessary premiums) compliance with the requirements noted. Let me know if you have any questions regarding or issues obtaining any of these requirements/ expectations.

If you can provide me with any pricing or information that you have provided James, that would be greatly appreciated.

Thank you,

Daniel Anderson CM-BIM
Director of Virtual Design and Construction
Senior Estimator
Byrne Construction Services
2601 Scott Avenue, Suite 300
Fort Worth, Texas 76103
(P) 817-335-3394 | (F) 817-877-5507
www.tsbyrne.com

From: Kim Neal [<mailto:sitesource@tx.rr.com>]
Sent: Tuesday, November 8, 2016 1:30 PM
To: Daniel Anderson <danderson@tsbyrne.com>
Subject: RE: Richland Hills Activity Center, Phase 2 - Pavilion

Hi Daniel,
Yes, I am getting the installation pricing from my installer. I use a sub for installation would that be a problem?
I had tried to pull up the plans, is the Vienna model shown on the plans. I had also given James pricing for a Marana model (maybe as a car parking cover) do you know if you need pricing on that as well?
Thanks,
Kim

From: Daniel Anderson [<mailto:danderson@tsbyrne.com>]
Sent: Tuesday, November 8, 2016 1:24 PM
To: sitesource@tx.rr.com
Subject: Richland Hills Activity Center, Phase 2 - Pavilion

Kim,

I wanted to follow up with you to make sure that you received my ITB via isqft, make sure that you did not have any questions, and confirm that you will be able to provide a turnkey proposal to me by Thursday. Please let me know when you get a minute. Thank you.

Thank you,

Daniel Anderson CM-BIM
Director of Virtual Design and Construction
Senior Estimator

Byrne Construction Services

2601 Scott Avenue, Suite 300
Fort Worth, Texas 76103
(P) 817-335-3394 | (F) 817-877-5507
www.tsbyrne.com

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[Byrne Construction Services](#)

Site Source Inc.
P.O. Box 270190
Flower Mound, TX 75027
972-539-4024
972-539-0520 (fax)

Quotation

Date	Estimate #
11/2/2016	478

Name / Address
Byrne Attn: Daniel Anderson North Richland Hills Activity Center

Estimated Shipping	Terms	Validity	Rep	Project
9-11 weeks	Negotiable	90 days	KN	Activity Center

Item	Description	Qty	Unit Price	Total
Vienna	Vienna Model by Classic Recreation Systems, 40', Standing Seam Design Span Roof, 4:12 Roof Pitch, 8' Eave Height, Tube Steel Fascia, 5 Columns Surface Mount, TGIC Poly Powder Coat w/Zinc Rich Primer, 1/2 Octagon, 640 sq. Feet under Roof. Provision for Electrical, Texas Engineer Stamp, Delivered. Option for Installation: Would include off-load, assembly of the structure and clean up. It would not include anchor bolts, concrete, masonry or electrical work.- \$9,800	1	29,000.00	29,000.00T

NCTRCA #WFWB52819N0313 HUB # 1264226952100	Sales Tax (0.0%)	\$0.00
Total		\$29,000.00

Phase II - 50% CD Estimate Clarifications & Assumptions

Qualifications & Clarifications

Richland Hills Activity Center - Phase 2

50% CD Estimate

Date: November 16, 2016

General Conditions:	
1	A Contractor's Construction Contingency of 10% is included in this estimate, and is intended for construction use only. Owner contingency is excluded from this estimate.
2	A construction fee of 2.75% is included on the cost summary, and is based upon the total construction cost.
3	Builders Risk Insurance is included, and based upon the total cost.
4	CGL & Umbrella Insurance is included, and based upon the total cost.
5	Payment and Performance bonds for Byrne have been included on the cost summary, and are based upon the total cost.
6	The CM pre-construction services lump sum fee of \$9,390 is excluded from this budget as it was covered via Change Order #5 to Phase 1 contract.
7	The General Conditions included in this estimate are based upon approximately 6 months to substantial completion. Overall project completion is 7 months. These are also based upon the general conditions description as outlined in the RFP documents. .
8	This budget is to be reviewed as a whole, not as individual line items.
9	Scope of work for "Phase 2" is included. All work indicated for "Phase 1" is excluded, with the exception of deducts and credits for work that is to be replaced by scope to be constructed during Phase 2.
Construction Cost of Work Items:	
1	Sales tax is excluded.
2	This budget is based upon electronic design document files and models being available to all subcontractors at no additional cost. BIM files will only be available to subcontractors after bidding and award of the project.
3	All costs associated with water/sewer tap fees, building permits and plan check fees, or similar, required by any governing agency to include County, City, State, or Federal entities, in addition to any and all utility entities are specifically excluded.
4	All FF&E, OFE, and furnishings are excluded from this budget, unless specifically noted in the budget detail and qualifications below.
5	All hazardous or contaminated material and soil testing, remediation, investigation, and abatement is excluded.
6	Site is assumed to be free of any contaminates, unencumbered, and ready to begin excavation work.
7	Testing Lab services for materials, mock-ups, or delegated engineering components are to be provided by the Owner, and are excluded.
8	Testing of building components for water or air intrusion is excluded and is to be provided by the Owner.
9	Commissioning Agent and Services are to be provided by the Owner.
10	Design Fees or services are excluded. Where required in the specifications, the Construction Manager will provide design calculations and information provided by the Trade Contractors to the Architect and Engineer for approval and acceptance of the design.
11	The CM does not warrant or guarantee functionality of the design with the Owner's requirements. The CM relies upon the designers to include and detail the Owner's requirements into the design documents.
12	The CM will provide oversight and review of submittals for compliance with the contract documents, however, the design team shall bear the full responsibility for acceptance and approval of all submittals.
Division 2 - Existing Conditions:	
1	None at this time.

Qualifications & Clarifications

Richland Hills Activity Center - Phase 2 50% CD Estimate

Date: November 16, 2016

Division 3 - Concrete:	
1	Piers are assumed as 3' diameter & 8' deep at the parking canopy only. No other piers are included.
2	Foundations for the pavilion structure are assumed at 5' x 5' x 18" deep.
3	Foundations for the Veteran's Memorial monoliths are included via an allowance of \$4,500.
4	Estimate includes provisions for temporary sidewalk access from Phase 1 parking area to City Hall during construction operations.
Division 4 - Masonry:	
1	Masonry is not assumed or included at the pavilion structure.
Division 5 - Metals:	
1	No pipe bollards found in documents, therefore these are excluded from the proposal.
2	Ornamental metals cost includes two gate operators (Elite SL-3000) and all required access controls and accessories to provide a complete and functioning system.
Division 6 - Wood, Plastics and Composites:	
1	Estimate does not assume or include any wood finishes at Phase 2.
Division 7 - Thermal and Moisture Protection:	
1	Estimate includes cost for additional site paving & sidewalks joint sealants only.
2	Estimate does not assume or include any waterproofing or fireproofing of the pump house.
Division 8 - Openings:	
1	Estimate does not assume or include any glazing or openings at Phase 2.
Division 9 - Finishes:	
1	Estimate includes an allowance of \$7.50/bldg sf for paint finish of the pavilion structure.
2	Estimate does not assume or include any plaster or stucco finishes at Phase 2.
3	Estimate does not assume or include any flooring or wall finishes at Phase 2.
Division 10 - Specialties:	
1	No Specialties items included.
Division 11 - Equipment:	
1	Phase 1 GMP includes provisions for playground equipment, therefore this estimate does not include provisions
Division 12 - Furnishings:	
1	Estimate does not assume or include any provisions for signage.
Division 13 - Special Construction:	
1	Pavilion structure is assumed to be a pre-engineered structure.
2	Covered parking structures are assumed to be pre-engineered structures.
Division 14 - Conveying Equipment:	
1	No Conveying Equipment items included.
Division 23 - Heating, Ventilating and Air Conditioning:	
1	Estimate includes mechanical scope as shown on PR #01 Mechanical drawings only.
Division 26 - Electrical:	
1	Estimate includes electrical scope as shown on PR #01 Electrical drawings only.
2	Electrical scope for the parking canopy is included in costs for Alternate 1 Parking Canopy.
3	Electrical scope for the pavilion is included in costs for Alternate 3 Pavilion.
4	Estimate an allowance of \$15,000 for provisions for audio/video system at the pavilion structure.

Qualifications & Clarifications

Richland Hills Activity Center - Phase 2 50% CD Estimate

Date: November 16, 2016

5	Estimate includes a plug of \$5,000 for a telecommunications raceway between the Pump House and Activities Center for water feature equipment shown to connect to City's network.
6	New telecommunications conduit pathway and pull boxes between City Hall and Activities Center are excluded from this proposal.
Division 31 - Earthwork:	
1	Termite pre-treatment is not assumed or included, as there is no expectation of any wood installations.
2	Lime stabilization is included as an allowance to the earthwork costs.
3	Contaminated spoils haul-off is excluded from the Phase 2 proposal.
Division 32 - Exterior Improvements:	
1	Full landscaping and irrigation scope is included as shown on PR #01 Irrigation and Landscaping drawings.
2	Veteran's Memorial alternate pricing includes new flagpoles; removal and relocation of existing flagpoles from
Division 33 - Utilities:	
1	Proposal includes full scope of site utilities as shown on PR #01 Civil drawings.
Other	
1	Current water feature design may exceed project allowances. Further refinement of the design could lead to schedule impacts which will have to be evaluated as design and procurement of the water feature is completed.

Phase II - 50% CD Estimate Document List

Contract Documents List
 Richland Hills Activity Center - Phase 2
 Richland Hills, Texas
 50% CD Estimate

Date: 11/15/2016

Sheet	Original Date	Sheet Name
Drawings		
C0.1	03/21/16	Site Plan - Phase 1
C.02	10/28/16	Site Plan - Phase 2
C1.2	10/25/16	Revised Demolition Plan - Phase 1
C1.3	10/25/16	Demolition Plan - Phase 2
C2.1	03/21/16	Dimensional Control Plan - Phase 1
C2.2	10/25/16	Dimensional Control Plan - Phase 2
C2.3	10/25/16	Dimensional Control Plan - Phase 2
C3.1	03/21/16	Grading Plan - Phase 1
C3.2	03/21/16	Grading Plan - Phase 1
C3.3	10/25/16	Grading Plan - Phase 2
C3.4	10/25/16	Grading Plan - Phase 2
C4.4	03/21/16	Storm Sewer Hydraulics
C4.5	10/25/16	Storm Sewer Hydraulics
C5.1	05/25/16	Site Utility Plan
C5.2	10/25/16	Site Utility Plan - Phase 2
C6.1	03/21/16	Paving Plan
C6.2	03/21/16	Paving Details
C6.3	10/25/16	Paving Details
C7.3	11/04/16	Erosion Control - Phase 2
L1.02	10/25/16	Tree Removal & Protection Plan - Phase 2
L2.00	03/21/16	Hardscape Plan - Phase 1
L2.01	03/21/16	Dimensional Layout - Phase 1
L2.02	10/25/16	Hardscape & Site Amenity Plan Phase 2
L2.03	10/25/16	Dimensional Layout - Phase 2
L3.00	03/21/16	Landscape Plan - Phase 1
L3.02	10/25/16	Landscape Plan - Phase 2
L4.02	03/21/16	Site Details
L4.03	10/25/16	Site Details
L4.04	10/25/16	Site Details
L5.00	11/04/16	Police Parking Shade Structure
L5.01	11/04/16	South Lawn Pavilion
IR1.01	03/21/16	Irrigation Plan Phase 1
IR1.03	10/25/16	Irrigation Plan Phase 2
WF-1	10/25/16	Water Feature Overall Piping Plan
WF-2	10/25/16	Water Feature Plan/Elevation & Layout Plan
WF-3	10/25/16	Water Feature Supply/Drainage Piping
WF-4	10/25/16	Water Feature Mechanical Room Plan
WF-5	10/25/16	Water Feature Piping Schematic Diagram
WF-6	10/25/16	Water Feature Electrical Schematic Diagram
WF-7	10/25/16	Details
WF-8	10/25/16	Details
WF-9	10/25/16	Details
WF-10	10/25/16	Details
WF-11	10/25/16	Details
WF-12	10/25/16	Details
M101a	10/25/16	Mechanical Site Plan
M401	04/15/16	Mechanical Schedules
P101a	10/25/16	Plumbing Site Plan
P601	03/21/16	Plumbing Schedules
E101	03/21/16	Electrical Site Plan
E102	10/25/16	Electrical Site Plan - B
E501	04/15/16	Lighting Schedules

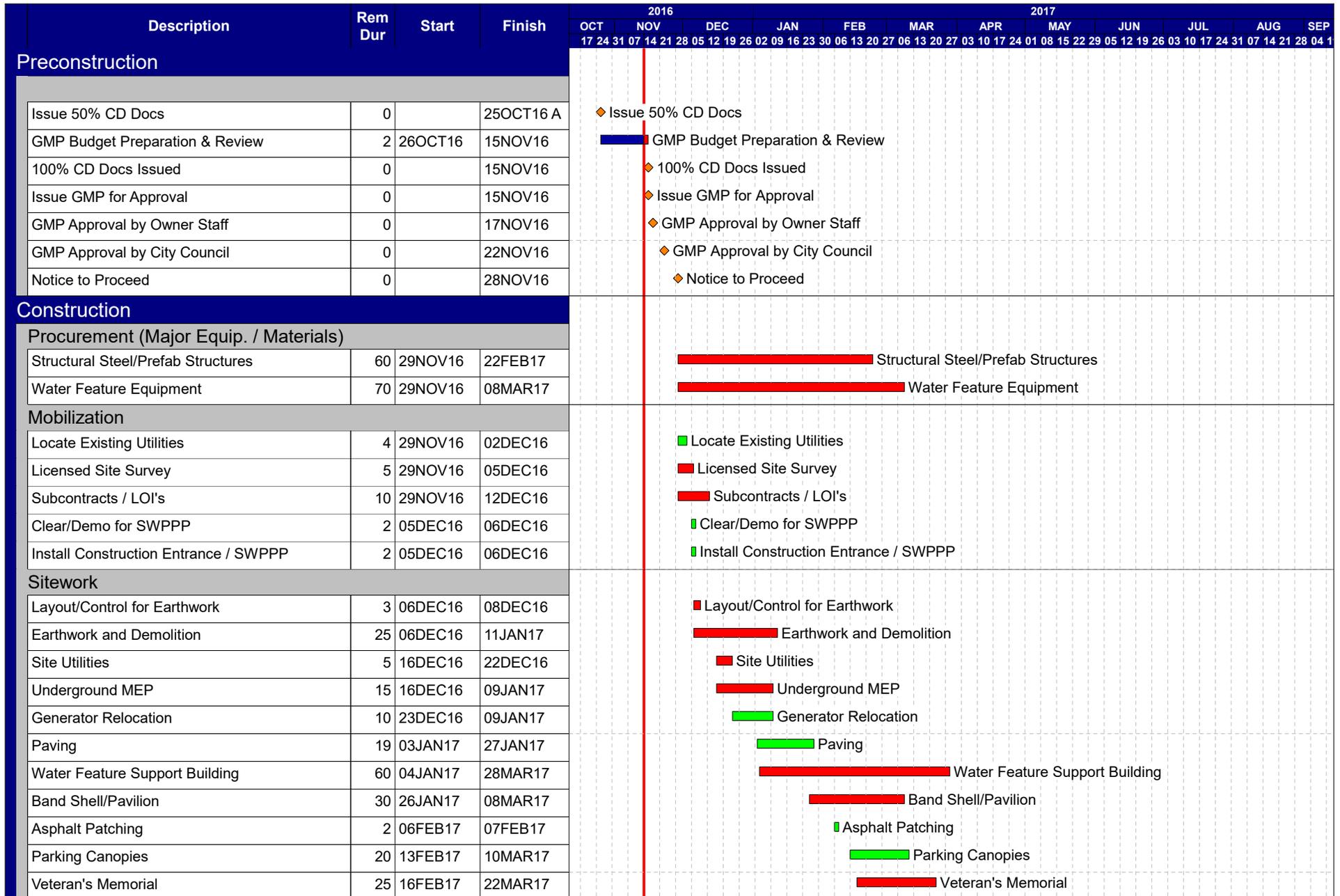
Contract Documents List

Richland Hills Activity Center - Phase 2
 Richland Hills, Texas
 50% CD Estimate

Date: 11/15/2016

Sheet	Original	Sheet Name
E502	03/21/16	Lighting Schedules
E702	10/25/16	Phase 2 Electrical Schedules and Diagrams
Addenda		

Phase II - 50% CD Estimate Schedule



■ Early bar
■ Progress bar
■ Critical bar
— Summary bar
◆ Start milestone point
◆ Finish milestone point

The Link - Phase II
Construction Manager's Project Schedule - PR #01 (GMP)
Byrne Construction Services

Run date	14NOV16
Data date	14NOV16
Page number	1A
Page count	2A
Project name	RHAC PH2
Number/Version	GMP
© Primavera Systems, Inc.	

Phase II - 50% CD Estimate Allowances

Allowances contained within 50% CD Estimate include:

- 1) Plaza Fountain Spray Garden - \$195,424
- 2) Alternate 1 - Parking Canopies - \$174,240
- 3) Alternate 2 - Veteran's Memorial Monoliths - \$41,558
- 4) Alternate 3 - Pavilion/Band Shell - \$69,641
- 5) Temporary sidewalk for City Hall Access - \$1,080
- 6) Conduit/Raceway for Data to Water Feature Support Building - \$5,000
- 7) Water Feature Support Building Allowance - \$83,000